# REGENCY TOWER



## **DEVELOPMENT INFORMATION**

10-18 REGENT STREET, WOLLONGONG

SITE AREA- 3648.3m<sup>2</sup>

FLOOR SPACE:-

COMMERCIAL-RESIDENTIAL-HOTEL-3786.6m²- 18.9% 4173.4m²- 20.9% 12022.4m²- 60.2%

**-- 12022.4m²- 60.2%** PENTHOUSE

**HOTEL ROOMS**-163 HOTEL ROOMS

27 SUITES

**RESIDENCES-**

2 SUB PENTHOUSES

20 x 3 BEDROOM APARTMENTS

TOTAL FLOOR AREA- 19982.4m<sup>2</sup>

MAX FSR- 19 9983.5m<sup>2</sup> or 5.48:1 PROPOSED FSR 19 9982.4m<sup>2</sup> or 5.48:1

LANDSCAPED AREA REQUIRED 543.0m

LANDSCAPED AREA PROVIDED 607.8m<sup>2</sup> Approx LS to be revised

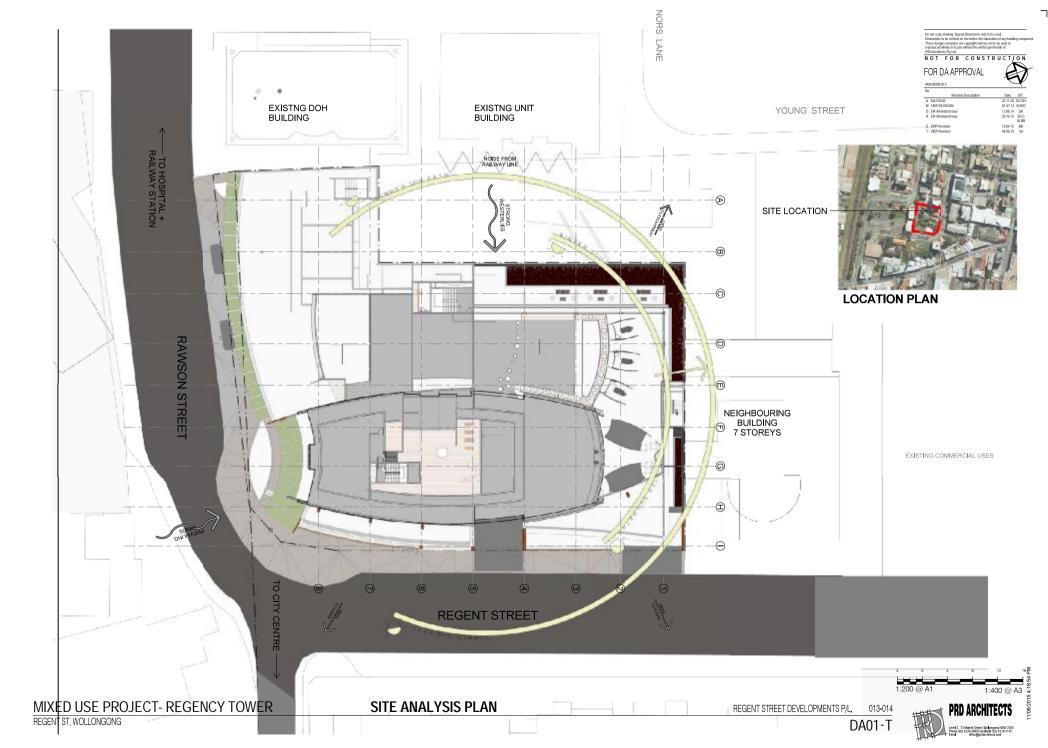
CARPARKING: TOTAL 329 SPACES

COMMERCIAL- 69 SPACES

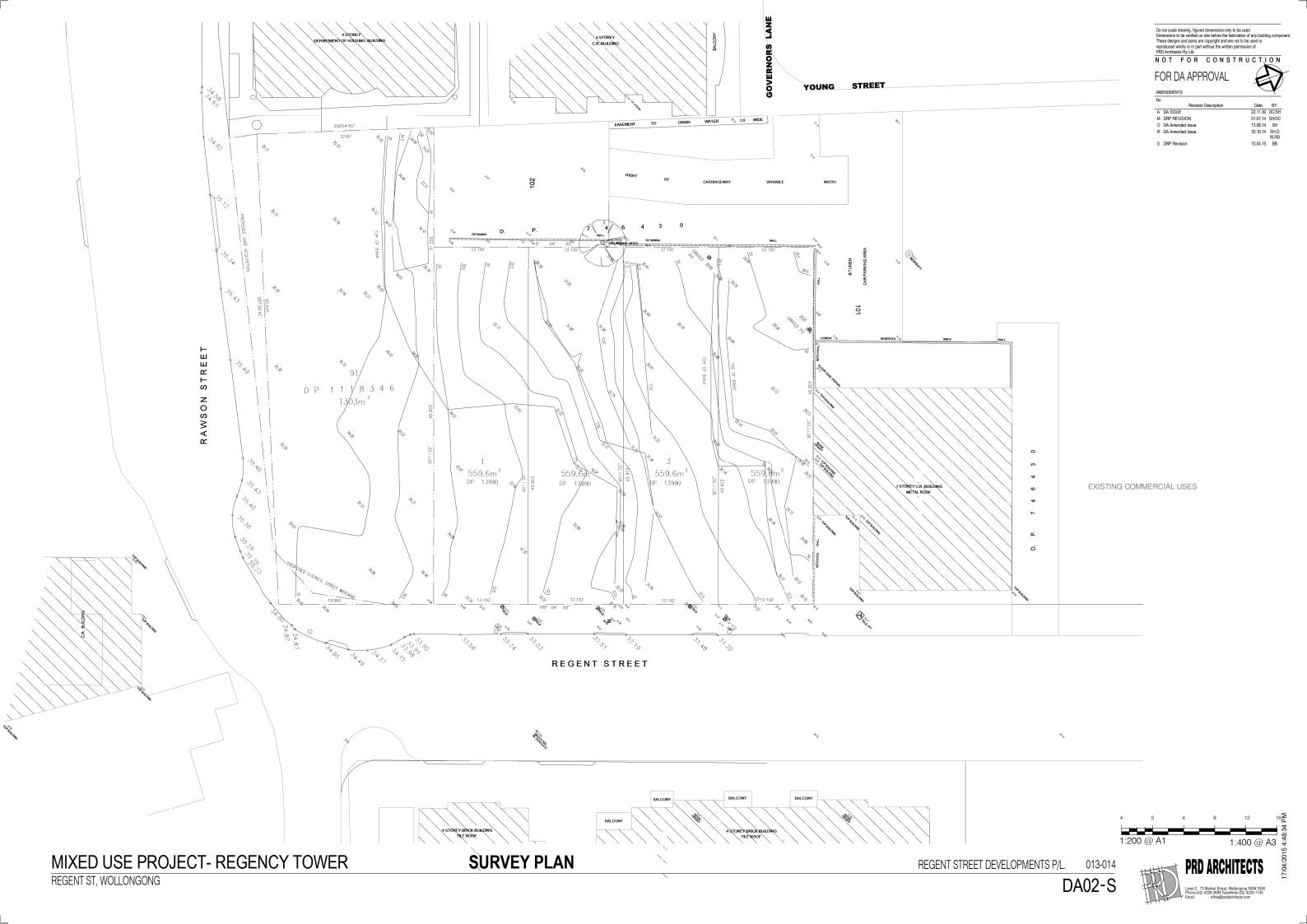
RESIDENTIAL- 49 SPACES + 6 VISITOR HOTEL- 147 SPACES + 40 VALET

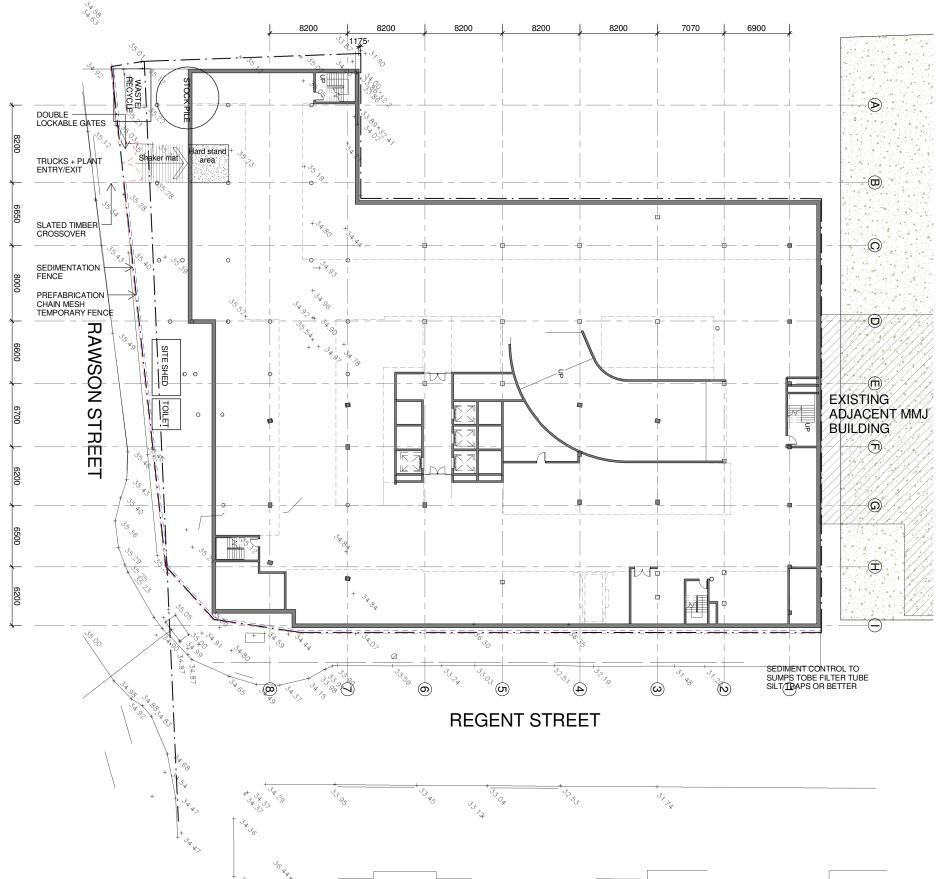
01	0	Drawing List	I		A
Sheet Number	Current Revision	Sheet Name	Issue Date	Drawn By	Approved By
		2.023.73			_,
DA00	0	TITLE SHEET	30.10.14	DC & SH	PR
DA01		SITE ANALYSIS PLAN	30.10.14	DC & SH	PR
DA02	S	SURVEY PLAN	30.10.14	DC & SH	PR
DA03	S	SITE PLAN	30.10.14	DC & SH	PR
DA04	S	SITE MANAGEMENT PLAN	30.10.14	DC & SH	PR
DA05	S	BASEMENT 4- HOTEL VALET CARPARK RL.21.3	30.10.14	DC & SH	PR
DA06	S	BASEMENT 3 - COMMERCIAL / HOTEL CARPARK RL. 24.2	30.10.14	DC & SH	PR
DA07	S	BASEMENT 2- COMMERCIAL CARPARK RL.27.1	30.10.14	DC & SH	PR
DA08	S	BASEMENT 1- RESIDENTIAL CARPARK RL. 30.0	30.10.14	DC & SH	PR
DA09	T	LEVEL 1- COMMERCIAL LOBBY + HOTEL BOH	30.10.14	DC & SH	PR
DA10	-	LEVEL 1- FRONT OF HOUSE	30.10.14	DC & SH	PR
DA11		LEVEL 2- HOTEL LOBBY	30.10.14	DC & SH	PR
DA12	-	LEVEL 2 FRONT OF HOUSE	30.10.14	DC & SH	PR
DA13		LEVEL 2 BACK OF HOUSE	30.10.14	DC & SH	PR
DA14		HOTEL/ COMMERCIAL- LEVEL 3 - 22 ROOMS	30.10.14	DC & SH	PR
DA15		HOTEL/ COMMERCIAL LEVEL 3- FRONT OF HOUSE	30.10.14	DC & SH	PR
DA16		LEVEL 3- BACK OF HOUSE	30.10.14	DC & SH	PR
DA17		HOTEL/ COMMERCIAL- LEVEL 4- 23 ROOMS	30.10.14	DC & SH	PR
DA18		HOTEL / COMMERCIAL LEVELS 4 - 6- FRONT OF HOUSE	30.10.14	DC & SH	PR
DA19		HOTEL/ COMMERCIAL LEVEL 4 - BACK OF HOUSE	30.10.14	DC & SH	PR
DA20		HOTEL/ COMMERCIAL LEVEL 5, 8 ROOMS	30.10.14	DC & SH	PR
DA21		HOTEL/ COMMERCIAL LEVEL 6, 8 ROOMS	30.10.14	DC & SH	PR
DA22		LEVEL 7- FUNCTION/ RESTAURANT	30.10.14	DC & SH	PR
DA23 DA24		LEVEL 8- RECREATION  HOTEL LEVELS 9-14, 16 ROOMS / LEVEL- 96 TOTAL	30.10.14	DC & SH DC & SH	PR PR
DA25	Т	HOTEL LEVELS 15-17, 9 SUITES / LEVEL - TOTAL 27	30.10.14	DC & SH	PR
DA26	Т	RESIDENTIAL LEVELS 18-22	30.10.14	DC & SH	PR
DA28		RESIDENTIAL SUB PENTHOUSE	30.10.14	DC & SH	PR
DA29	S	PENTHOUSE	30.10.14	DC & SH	PR
DA30		ROOF	30.10.14	DC & SH	PR
DA31	T	NORTH- ALTERNATIVE H	30.10.14	DC & SH	PR
DA32	Т	EAST- ALTERNATIVE H	30.10.14	DC & SH	PR
DA33	Т	SOUTH- ALTERNATIVE H	30.10.14	DC & SH	PR
DA34	Т	WEST- ALTERNATIVE H	30.10.14	DC & SH	PR
DA35	s	SECTION A-A	30.10.14	DC & SH	PR
DA36	s	SECTION B-B	30.10.14	DC & SH	PR
DA37		SECTION C-C	30.10.14	DC & SH	PR

		Drawing List			
Sheet Number	Current Revision	Sheet Name	Issue Date	Drawn By	Approved By
D 4 00	0	OLIABOW BLAODANIO OLIMINED	00.40.44	DO 0 011	- DD
DA38 DA39		SHADOW DIAGRAMS SUMMER SHADOW DIAGRAMS WINTER	30.10.14 30.10.14	DC & SH	PR PR
DA39		FINSHES SCHEDULE	30.10.14	DC & SH	PR
DA40.2		FINISHES SCHEDULE- NO SCREENING	07/15/15	Author	Approver
DA40.2		COMMERCIAL SCREEN DETAIL	30.10.14	DC & SH	PR
DA41		3D	30.10.14	DC & SH	PR
DA45		3D	30.10.14	DC & SH	PR
DA46		GLAZING OVERSHOOT DETAIL	30.10.14	SH	PR
DA47		DETAIL SECTIONS 1	30.10.14	SH	PR
DA48		FACADE DETAILS	06/09/15	Author	Approver
DA49	S	REGENT / RAWSON STREET FRONTAGE	30.10.14	SH	PR
DA50	S	PERSPECTIVE IMAGES	30.10.14	SH	PR
DA51	T	LOBBY SECTION	30.10.14	Author	Approver
DA53	S	3D Perspective- Regent/Rawson Street Plaza	10/31/14	Author	Approver
DA55	S	3D Perspective- Commercial/ Residential Entry	11/03/14	Author	Approver
DA56	S	3D Perspective- Commercial Outdoor Terrace/Lounge	11/03/14	Author	Approver
DA66	S	NEW EAST FACADE FLOOR PLANS	3/25/2015	Author	Approver
DA67	S	NEW EAST FACADE FLOOR PLANS	3/27/2015	Author	Approver
DA68	-	Alternative I- No Screening	06/04/15	Author	Approver
DA69	2	Alternative H- Screening to Rawson Street	06/04/15	Author	Approver
DA69.2		Alternative H- Concrete Slab Exressions	06/12/15	Author	Approver
DA70		Alternative G- Simple Angled Glazing to Tower	06/04/15	Author	Approver
DA71	T	Alternative F- Angled Glazing to Podium	06/04/15	Author	Approver
DA72		Alternative E- Selected by DRP	02/06/15	Author	Approver
DA73	Т	EXISTING CONTEXT PERSPECTIVE- GOLF COURSE	06/05/15	Author	Approver
DA74	Т	FUTURE CONTEXT PERSPECTIVE- GOLF COURSE	06/05/15	Author	Approver
DA75	Т	EXISTING CONTEXT PERSPECTIVE- FLAGSTAFF HILL	06/05/15	Author	Approver
DA76	Т	EXISTING CONTEXT PERSPECTIVE- FLAGSTAFF HILL	06/05/15	Author	Approver
DA77	Т	EXISTING CONTEXT PERSPECTIVE- SMITHS HILL	06/05/15	Author	Approver
DA78	Т	FUTURE CONTEXT PERSPECTIVE- SMITHS HILL	06/05/15	Author	Approver
DA79	Т	EXISTING CONTEXT PERSPECTIVE- BEATON PARK	06/08/15	Author	Approver
DA80	Т	FUTURE CONTEXT PERSPECTIVE- BEATON PARK	06/08/15	Author	Approver
		DEATON PARK	3 arket Street ongoing NSW 2500		



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SOIL & WATER MANAGEMENT

1) THIS PLAN SHALL BE READ

CONJUNCTION WITH THE ENGINEERING PLANS, AND ANY OTHER PLANS OR WRITTEN INSTRUCTIONS THAT MAY BE ISSUED AND RELATING TO DEVELOPMENT AT THE SUBJECT SITE.

2) THE CONTRACTOR SHALL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE LOCATED AS INDICATED ON THIS DRAWING.

3) ALL SUB CONTRACTORS SHALL BE MADE AWARE OF THEIR RESPONSIBILITIES IN MINIMISING THE POTENTIAL FOR SOIL EROSION AND POLLUTION TO DOWN-SLOPE LANDS AND WATER WAYS.

4) WHERE PRACTICAL, THE SOIL EROSION HAZARD ON THE SITE SHALL BE KEPT AS LOW AS POSSIBLE TO THIS END. WORKS SHOULD BE UNDERTAKEN IN THE FOLLOWING SEQUENCE:
A) INSTALL ANY NECESSARY
SECURITY/BOUNDARY FENCES FOR THIS

B) CONSTRUCT SILT FENCING AS DETAILED ALONG BOUNDARIES + CONTOURS.

5) DURING WINDY WEATHER, LARGE UNPROTECTED AREAS SHALL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH

WATER TO KEEP DUST UNDER CONTROL 6) FINAL SITE LANDSCAPING SHALL BE UNDERTAKEN AS SOON AS POSSIBLE, AND WITHIN 20 WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES.

7) ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) SHALL BE REMOVED AS SOON AS POSSIBLE, AND WITHIN TEN WORKING

8) WATER SHALL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM, UNLESS IT IS SEDIMENT -FREE: ie, THE CATCHMENT AREA HAS BEEN THROUGH AN APPROVED STRUCTURE

9) TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES SHALL BE REMOVED ONLY AFTER THE LANDS THEY PROTECTED ARE REHABILITATED.

# CONSTRUCTION MANAGEMENT DETAILS

1) NOTE THAT THE PROPOSED WORKS WILL BE UNDERTAKEN WHILST THE BUILDING & SITE IS VACANT.

2) ALL SITE FENCING AND SEDIMENT CONTROL USED DURING DEMOLITION PHASE SHALL BE RETAINED FOR THE CONSTRUCTION PHASE + SHALL BE EXTENDED AS DETAILED ON DWGS.

3) A NEW HARD STAND AREA + SHAKER GRID SHALL BE CONSTRUCTED ON CORKWOOD CIRCUIT FRONTAGE DURING ALL PHASES OF THE PROJECT. ALL TO CONFORM WITH THE REQUIREMENTS OF THE LOCAL COUNCIL AND RTA.

4) DURING CONSTRUCTION PHASE AN AREA IS SET ASIDE ON SITE FOR USE OF MOBILE CRANE OR CONCRETE PUMP.

5) ALL CONSTRUCTION MATERIALS ARE TO BE STORED ON SITE. A DESIGNATED AREA HAS BEEN ALLOWED.

6) ALL SITE ACCOMMODATION + AMENITIES AS REQUIRED WILL BE LOCATED WITHIN THE SITE. SOME SITE SHEDS MAYBE RELOCATED ON THE PODIUM LEVEL IN THE FINAL PHASE OF CONSTRUCTION.

7) A DILAPIDATION SURVEY WILL BE CARRIED OUT BY THE CONTRACTOR BEFORE THE COMMENCEMENT OF ANY WORK ON SITE.

AUSTRALIAN STANDARDS
AS2601 Demolition of structures AS2436 Guide to noise control....demolition sites AS3798 Guide on earthworks....residential developments AS1289 Methods of testing soils for engineering purposes AS1725 Galvanised railess chainwire security fencing

# EROSION & SEDIMENTATION CONTROL NOTES 1) BUILDER SHALL PROVIDE SEDIMENT

1) BUILDER SHALL PROVIDE SEDIMENT FENCING MATERIAL DURING CONSTRUCTION TO BE INSTALLED INSIDE SITE FENCING ON LOW SIDES OF SITE TO CONTAIN ALL SITE WATER RUN OFF & PREVENT EROSION. TIE SEDIMENT FENCING MATERIAL TO SECURITY FENCE. SEDIMENT CONTROL FABRIC SHALL BE AN APPROVED MATERIAL (E.G. HUMBES PROPEX SILT STOP) STANDING 500 MIN. ABOVE GROUND & EXTENDING 500 MIN.

2) SILT BARRIERS, SILT TRAPS, SILTATION SCREENS AND THE LIKE SHALL BE CONSTRUCTED WITH GEOTEXTILE SEDIMENT FABRIC ATTACHED TO STEEL STAR PICKETS OR SECURITY FENCING, OF WITH THE REQUIREMENTS OF THE LOCAL COUNCIL AND RTA.

3) EXISTING DRAINS LOCATED WITHIN THE SITE SHALL BE ISOLATED BY SEDIMENT CONTROL.

4) NO PARKING OR STOCK PILING OF MATERIAL IS PERMITTED IN THE PUBLIC DOMAIN UNLESS STATED.

5) GRASS VERGES SHALL BE MAINTAINED AS MUCH AS PRACTICAL TO PROVIDE A BUFFER ZONE TO THE CONSTRUCTION

6) CONSTRUCTION ENTRY/EXITS SHALL BE 6) CONSTRUCTION ENTRY/EXITS SHALL BE LOCATED AS PER DWG, BUILDER SHALL ENSURE ALL DROPPABLE SOIL & SEDIMENT IS REMOVED PRIOR TO CONSTRUCTION TRAFFIC EXITING SITE. BUILDER SHALL ENSURE ALL CONSTRUCTION TRAFFIC ENTERING & LEAVING THE SITE DO SO IN A FORWARD DIRECTION AS MUCH AS POSSIBLE.

7) SITE SECURITY FENCING TO CONSIST OF 1800mm HIGH GALVANIZED CHAIN MESH PANELS FIXED TO GALVANIZED PIPE FRAME & SUPPORTED ON CONCRETE 'FEET'.

11) RECEPTORS FOR CONCRETE AND 11) RECEPTIONS FOR CONNECTE ENIND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER, ARE TO BE EMPTIED AS NECESSARY, DISPOSAL OF WASTE SHALL BE IN A MANNER APPROVED BY THE SITE SUPERINTENDENT.

12) AT LEAST WEEKLY THE CONTRACTOR 12) AT LEAST WEEKLY THE CONTRACTOR SHALL INSPECT THE SITE, PROVIDING PARTICULAR ATTENTION TO THE FOLLOWING MATTERS: A) ENSURE DRAINS OPERATE EFFECTIVELY, AND INITIATE REPAIR OR MAINTENANCE AS PERCURPER.

REQUIRED.

B) REMOVE SPILLED SAND (OR OTHER MATERIALS) FROM HAZARD AREAS, INCLUDING LANDS CLOSER THAN 2 METRES FROM LIKELY AREAS OF CONCENTRATED

FHOM LIKELY AREAS OF CONCENTHATED OR HIGH-VELOCITY FLOWS SUCH AS WATERWAYS, GUTTERS, PAVED AREAS AND DRIVEWAYS.

C) CONSTRUCT ADDITIONAL EROSION AND/OR SEDIMENT WORKS AS NECESSARY TO ENSURE THE DESIRED PROTECTION IS GIVEN TO DOWNSLOPE LANDS AND WATERWAYS, ie, MAKE ONGOING CHANGES TO THE PIAN. TO THE PLAN.

D) MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN A FUNCTIONING

CONDITION UNTIL ALL EARTHWORK ACTIVITIES ARE COMPLETED AND THE SITE E) REMOVE TEMPORARY SOIL CONSERVATION STRUCTURES AS A LAST ACTIVITY IN THE REHABILITATION PROGRAMME.

13) THE CONTRACTOR SHALL KEEP A LOG BOOK, MAKING ENTRIES AT LEAST WEEKLY, AND AFTER RAINFALL AND/OR SITE OLOSURE RECORD: A) THE VOLUME OF ANY RAINFALL EVENTS (CHECK WATER BUREAU). (CHECK WATER BUREAU). B) THE CONDITION OF ANY SOIL AND WATER MANAGEMENT WORKS. C) REMEDIAL WORK.
THE BOOK SHALL BE KEPT ON SITE AND MADE AVAILABLE TO ANY AUTHORISED

GENERAL NOTES
1. TRADE WASTE TO BE SEPARATED TO RECYCLE PRODUCTS, TIMBER, GLASS AND PAPER.

PERSON ON REQUEST.

2. BUILDER TO RELOCATE SITE SHED, AMENITIES, STORAGE FACILITIES, ETC AS REQUIRED DURING THE CONSTRUCTION PROCESS.

3. ADDITIONAL CARPARKING TO BE PROVIDED ON SITE FOLLOWING CONSTRUCTION OF BASEMENT CARPARKING AREA.

4. ALL VEHICLES TO LEAVE THE SITE IN A FORWARD DIRECTION.

5. NO VEHICLES TO BE PARKED ON FOOTPATH RESERVE

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30.10.14 SH,G W,RB 10.04.15 BB S DRP Revision

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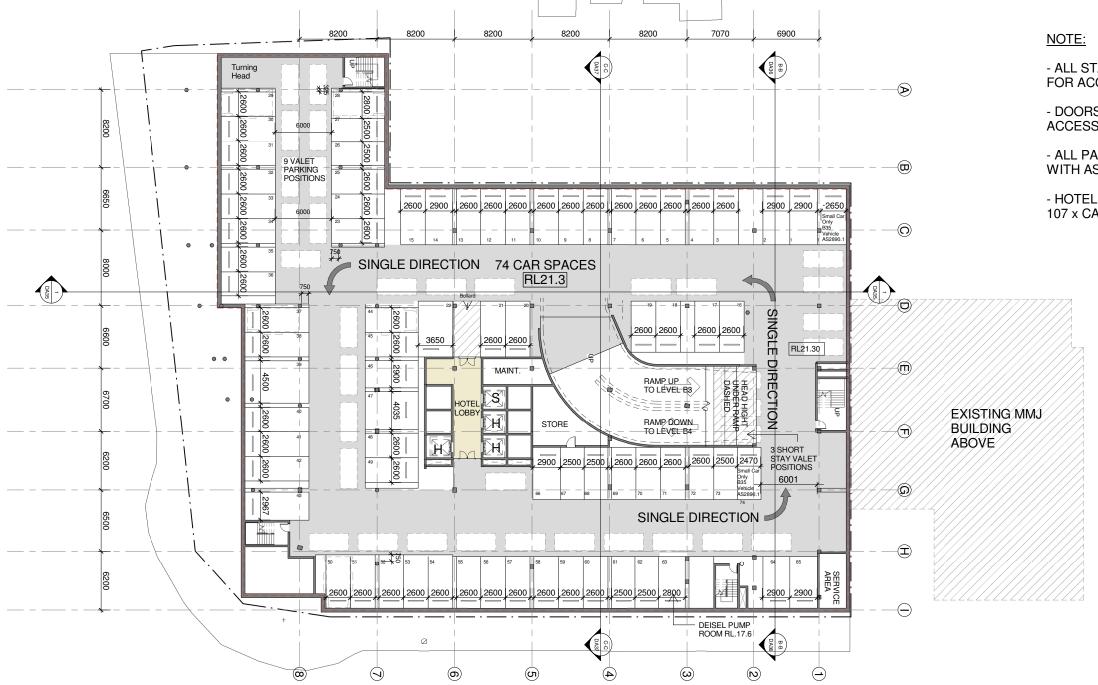
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O DA Amended Issue
R DA Amended Issue

S DRP Revision

- ALL STAIRS TO COMPLY WITH AS1428.1DESIGN FOR ACCESS AND MOBILITY
- DOORS TO COMPLY WITH AS1428.1 DESIGN FOR ACCESS AND MOBILITY
- ALL PARKING AND MANOUVREING COMPLIES WITH AS2890.1
- HOTEL PARKING 107 x CAR SPACES INCLUDING (33 VALET SPACES)



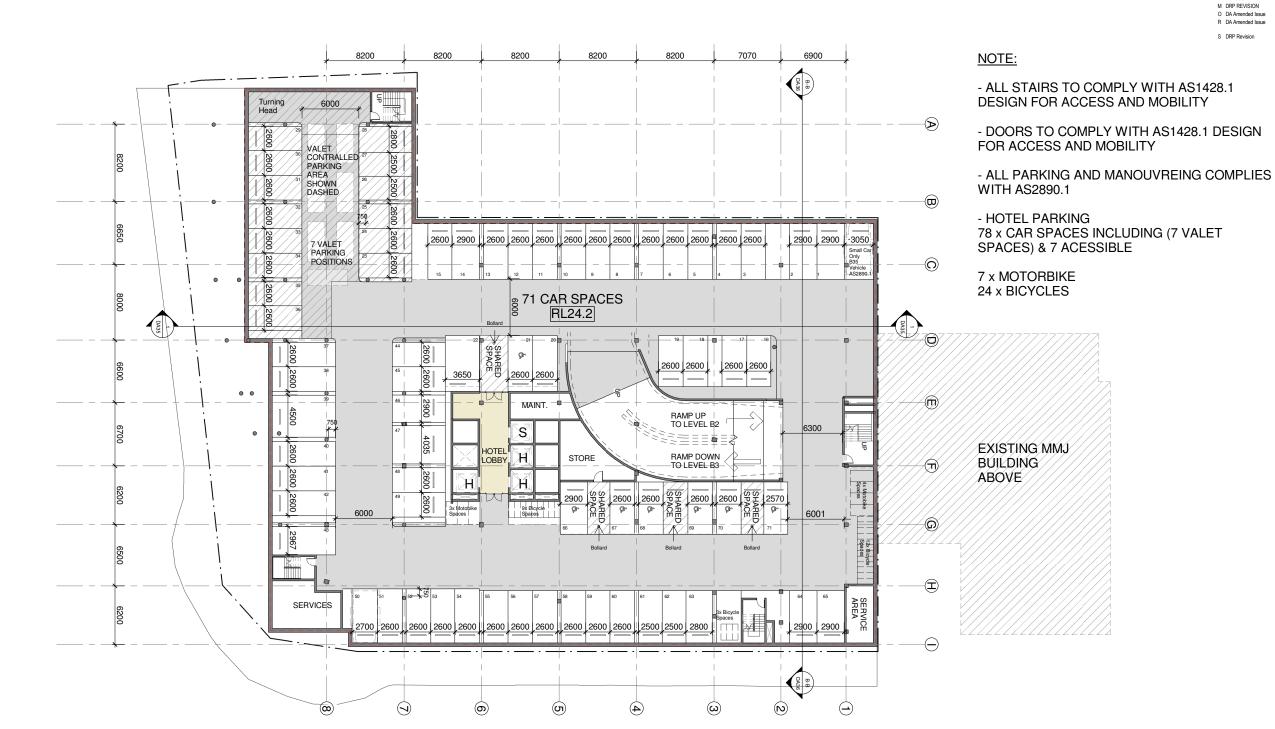
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Α	DA ISSUE	22.11.30	DC/SI
М	DRP REVISION	01.07.14	SH/D0
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R	DA Amended Issue	30.10.14	SH,G W,RE
S	DRP Revision	10.04.15	BB







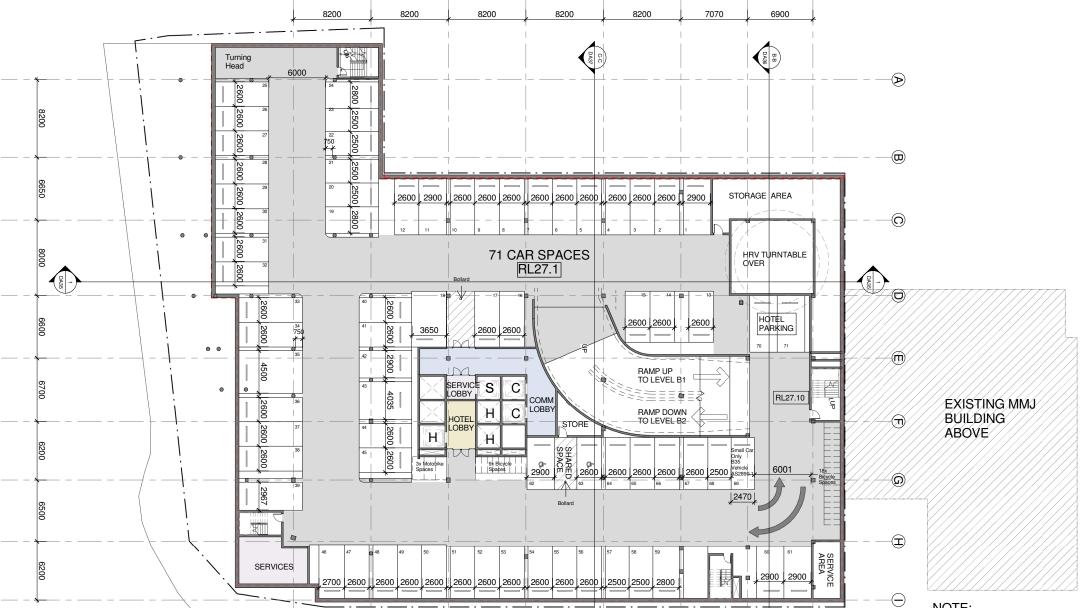
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Α	DA ISSUE	22.11.30	DC/S
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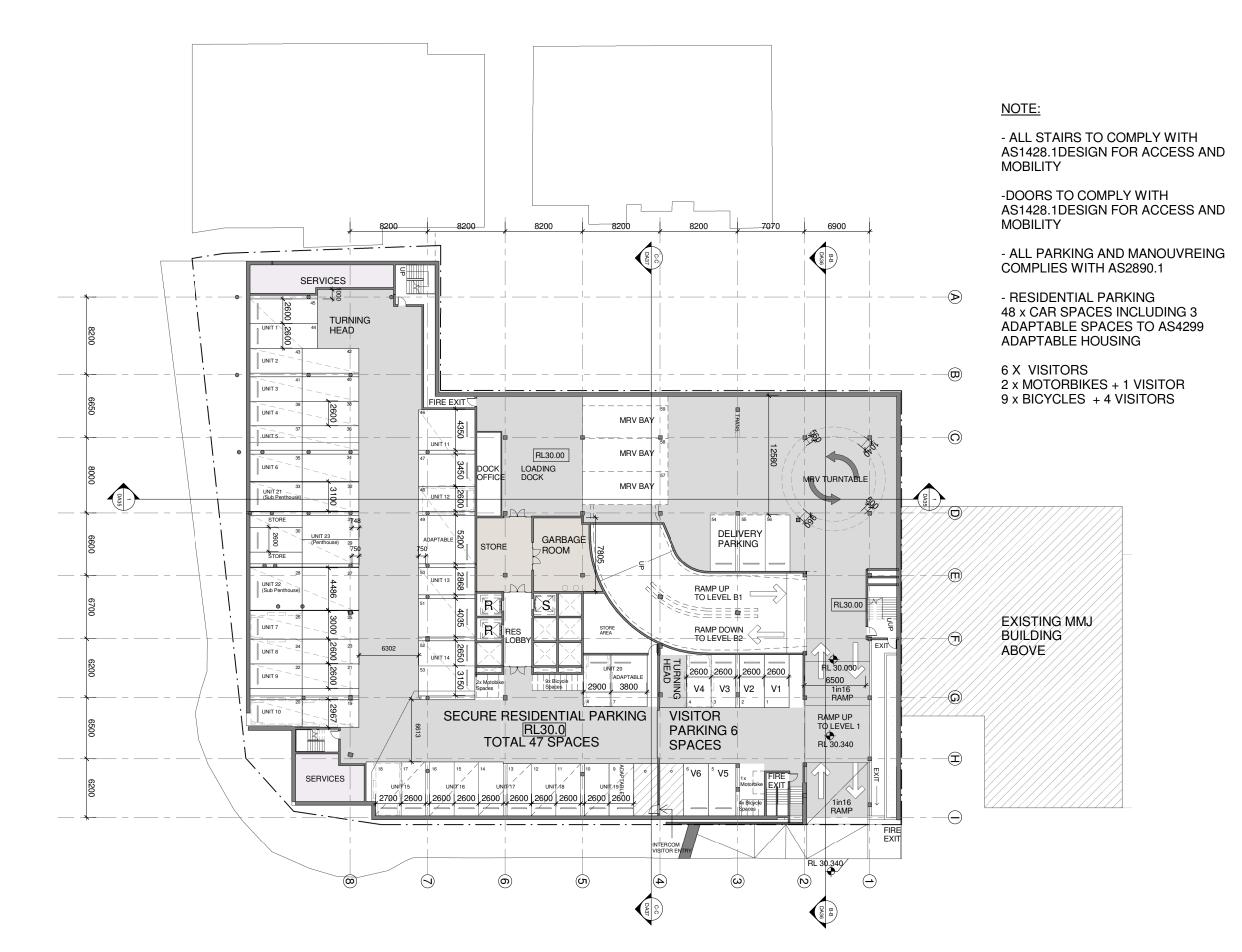
- ALL STAIRS TO COMPLY WITH AS1428.1DESIGN FOR ACCESS AND MOBILITY
- DOORS TO COMPLY WITH AS1428.1 DESIGN FOR ACCESS AND MOBILITY
- ALL PARKING AND MANOUVREING COMPLIES WITH AS2890.1
- COMMERCIAL PARKING 71 x CAR SPACES INCLUDING 2 HOTEL SPACES & 2 ACCESSIBLE
- 3 x MOTORBIKES 27 x BICYCLES



**DA07-S** 

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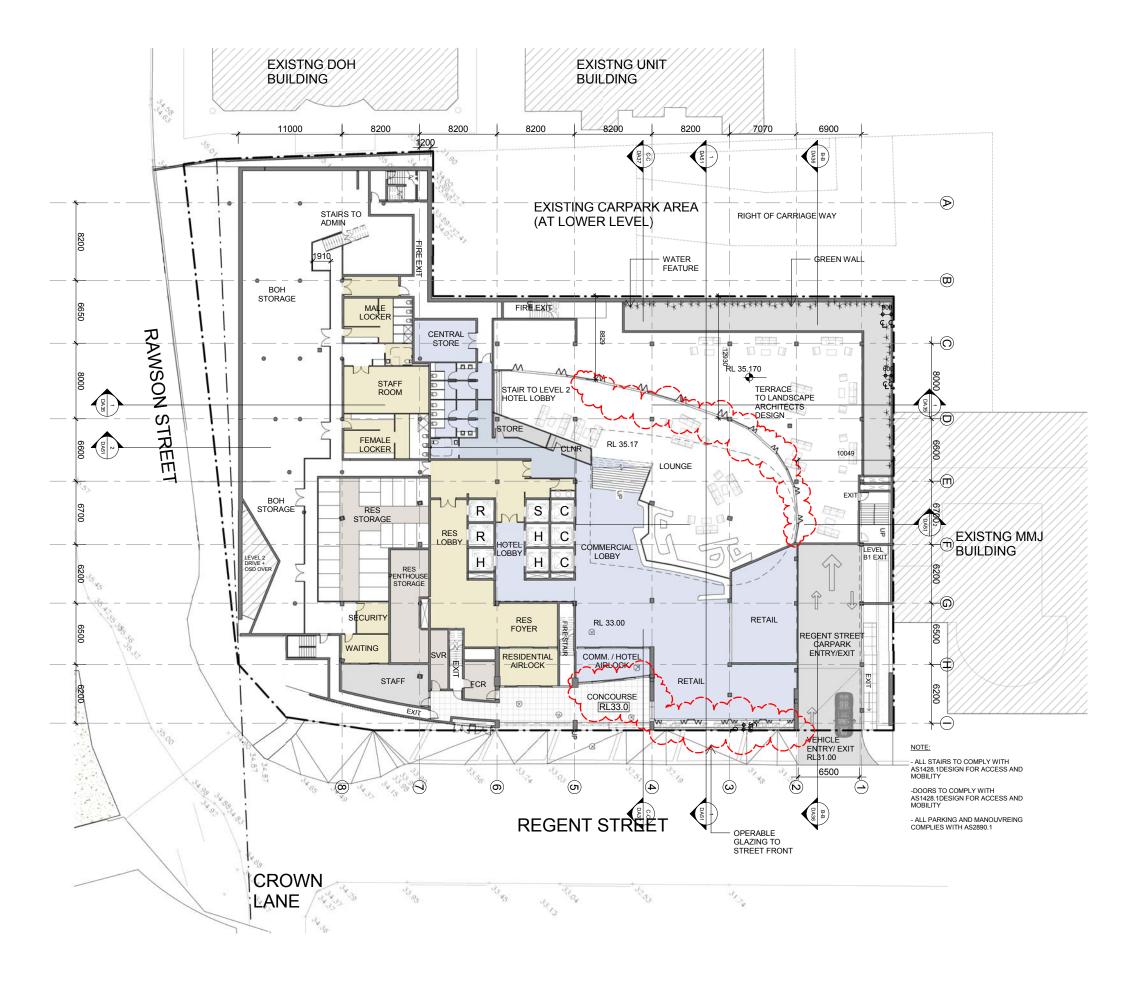
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O DA Amended Issue
R DA Amended Issue

S DRP Revision

PRD ARCHITECTS

MIXED USE PROJECT- REGENCY TOWER



MIXED USE PROJECT- REGENCY TOWER

LEVEL 1- COMMERCIAL LOBBY + HOTEL BOH

013-014

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R DA Amended Issue

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REGENT STREET DEVELOPMENTS P/L.



DPMENTS P/L. 013-014

DA11-T



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FOR DA APPROVAL

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	Revision Description	Date	BY:
Α	DA ISSUE	22.11.30	DC/Sł
М	DRP REVISION	01.07.14	SH/D
0	DA Amended Issue	13.08.14	SH
Р	DA Additional Height Info Requested WCC	07.10.14	SH
Q	WCC Review	29.10.14	SH,G W,RE
R	DA Amended Issue	30.10.14	SH,G W,RE
S	DRP Revision	10.04.15	BB
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-STAIRS TO COMPLY WITH AS1428.1DESIGN FOR ACCESS AND

-DOORS TO COMPLY WITH AS1428.1 DESIGN FOR ACCESS AND MOBILITY



HOTEL/ COMMERCIAL- LEVEL 3 - 22 ROOMS

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FOR DA APPROVAL

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MEETING LOUNGE

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HOTEL ROOM

(a)

HOTEL

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**®** 

VOID BALCONY LEVEL 3 BELOW

HOTEL ROOM

SUN SHADE-SCREEN

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Α	DA ISSUE	22.11.30	DC/S
M	DRP REVISION	01.07.14	SH/D
0	DA Amended Issue	13.08.14	SH
Q	WCC Review	29.10.14	SH,0 W,R
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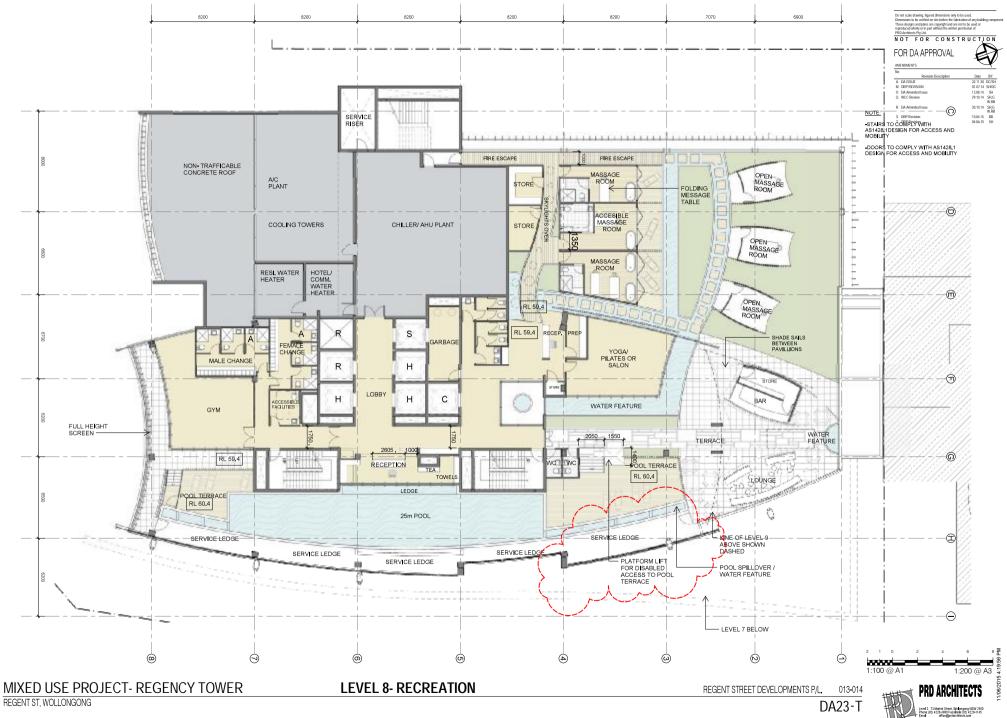
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DESIGN FOR ACCESS AND MOBILITY PATISERIE FUNCTION FUNCTION SUN SHADE SCREEN ROOM 2 SERVERY SERVERY FUNCTION ROOM 3 <u>(</u> STORE MALE S C C DOWN R (T) C H RL54.80 RESTAURANT FUNCTION/ RESTAURANT PRE FUNCT**I**ON RL 54.8 **@** RECEP. STORE - LINE OF LEVEL 8 ABOVE SHOWN NSTION TERRACE RL 54.8 FUNCTION BAR DASHED LOUNGE BAR DUAL SERVICE BAR GLAZING PROVIDES WIND BREAK AND BRINGS NORTHERN FACADE TO PODIUM BALCONY SUN SHADE SCREEN inchesia. (9) 1:200 @ A3 MIXED USE PROJECT- REGENCY TOWER **LEVEL 7- FUNCTION/ RESTAURANT** REGENT STREET DEVELOPMENTS P/L. PRD ARCHITECTS REGENT ST, WOLLONGONG DA22-T

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ROOF TOP GARDEN Do not scale drawing, figured dimensions only to be used.
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M DRP REVISION
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O WCC Review 30.10.14 SH,G W,RB 10.04.15 BB 04.06.15 SH -STAIRS TO COMPLY WITH AS1428.1DESIGN FOR ACCESS AND MOBILITY NON TRAFFICABLE -DOORS TO COMPLY WITH AS1428.1 DESIGN FOR ACCESS AND MOBILITY ं OPEN TO LEVEL 7 BELOW ROOF TOP GARDEN BY OTHERS NON TRAFFICABLE ROOF FEATURE LIGHT WELLS TO PATH BELOW SUN SHADE SCREEN TO LEVEL 7 AND BELOW 0 00 LEVEL 9 ACCESS ONLY -(m) ROOVES OVER PAVILLIONS ON LEVEL 8 ROOM 12 39.1m<sup>2</sup> ROOM 11 **ROOM 15** ROOM 13 **ROOM 14** 4 LEVELS 29.6m<sup>2</sup> 32.8m<sup>2</sup> 30.9m<sup>2</sup> 28.5m² ONL¥ 1540 ROOM 10 1 31.9m<sup>2</sup> ROOM 16 Н 44.5m<sup>2</sup> VOID LV 11-12 14-15 17-18 HOTEL LEVELS 9-14 16 ROOMS / LEVEL -(G) ROOM 1 43.4m<sup>2</sup> ROOM 9 ROOM-2 31.5m<sup>2</sup> ROOM 8 ROOM 7 ROOM 5 24.5m<sup>2</sup> ROOM 3 ROOM 4 ROOM 6 30.8m<sup>2</sup> 30.8m<sup>2</sup> 34.4m<sup>2</sup> 25.3m<sup>2</sup> 27.0m<sup>2</sup> 26.3m<sup>2</sup> SUN SHADE SCREEN TO LEVEL 7 AND 1:200 @ A3 MIXED USE PROJECT- REGENCY TOWER HOTEL LEVELS 9-14, 16 ROOMS / LEVEL- 96 TOTAL PRD ARCHITECTS REGENT STREET DEVELOPMENTS P/L. 013-014 REGENT ST, WOLLONGONG DA24-T

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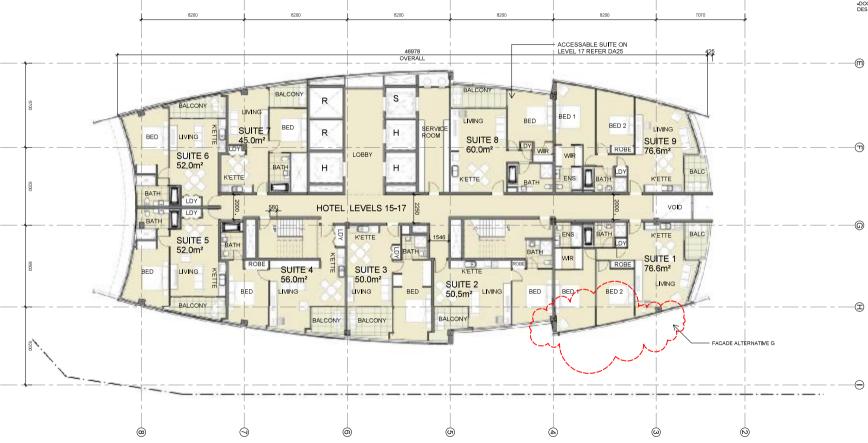
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A	DA ISSUE	22.11.30	D
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0	WCC Review	29.10.14	S
R	DA Amended Issue	30.10.14	S
S	DRP Revision	10.04.15	
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-STAIRS TO COMPLY WITH AS1428.1DESIGN FOR ACCESS AND MOBILITY

-DOORS TO COMPLY WITH AS1428.1 DESIGN FOR ACCESS AND MOBILITY



MIXED USE PROJECT- REGENCY TOWER

HOTEL LEVELS 15-17, 9 SUITES / LEVEL - TOTAL 27

REGENT STREET DEVELOPMENTS P/L.

S P/L. 013-014

PRD ARCHITECTS

Level 2, 73 Maried Street, Wellengoon 160W 2510
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REGENT ST, WOLLONGONG

DA25-T

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MIXED USE PROJECT- REGENCY TOWER

**RESIDENTIAL LEVELS 18-22** 

REGENT STREET DEVELOPMENTS P/L.

DA26-T

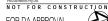


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REGENT ST, WOLLONGONG

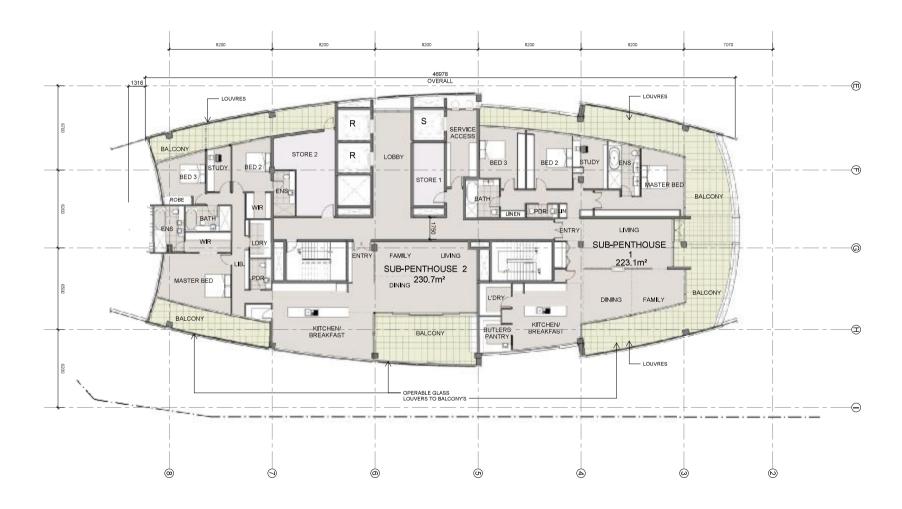
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MIXED USE PROJECT- REGENCY TOWER REGENTST, WOLLONGONG

**RESIDENTIAL SUB PENTHOUSE** 

REGENT STREET DEVELOPMENTS P/L.

DA28-S



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MIXED USE PROJECT- REGENCY TOWER

**PENTHOUSE** 

REGENT STREET DEVELOPMENTS P/L.

DA29-S

PRD ARCHITECTS

REGENT ST, WOLLONGONG

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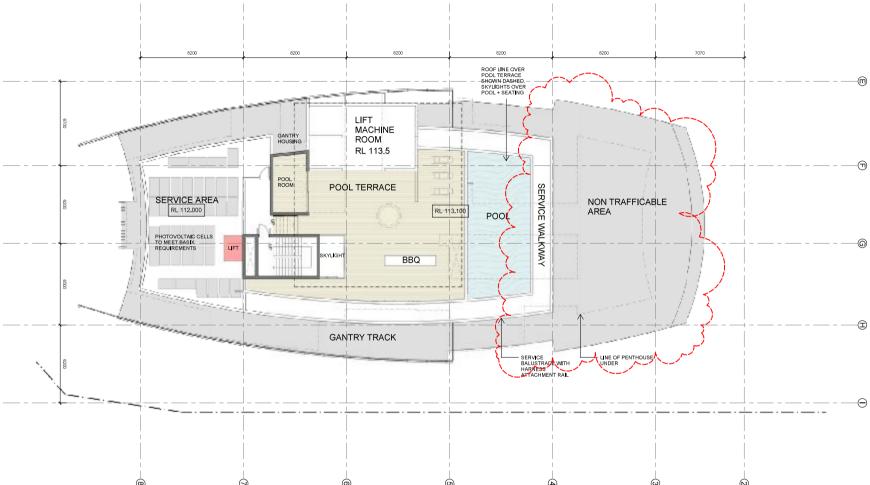
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MIXED USE PROJECT- REGENCY TOWER

ROOF

REGENT STREET DEVELOPMENTS P/L. 0

F/L, 013-014

DA30-T



 $\oplus$ G (F)  $^{\bigcirc}$ (D) **B** RL 111.400 RL 111,400 O LEVEL ROOF 80m HEIGHT LIMIT OPERABLE GLASS LOUVRE SYSTEM TO BALCONIES LEVEL 24 Penthouse 0 108.100 LEVEL 23 Sub Penthouse LEVEL 22 Residential 0 101.900 LEVEL 21 Residential LEVEL 20 Residential LEVEL 19 Residential LEVEL 18 Residential LEVEL 17 Hotel Suites LEVEL 16 Hotel Suites \_\_\_\_\_LEVEL 15 Hotel Suites LEVEL 13 Hotel LEVEL 11 Hotel O\_65.800 - 10 Hotel O\_62.800 - - - -WATERPROOF MEMBRANE TO ALL TERRACES, BALCONIES AND PLANTERS LEVEL 8 Recreat LEVEL 7 Restaurant 50.850 SIGNAGE BLADES WIT CORTEN FINISH OR SIMILAR LEVEL 5 Commercial EXISTING LEVEL 4- Commercial ADJACENT MMJ 0 44.150 BUILDING CHEVEL 3- Commercial LEVEL CONCRETE AWNING
36.000 RENDERED + PAINTE BASEMENT 3 24.200 EXTENT OF BASEMENT BASEMENT 4

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 $\oplus$ G (F) E (D) **B** O LEVEL ROOF 80m HEIGHT LIMIT LEVEL 24 Penthouse 0 108.100 LEVEL 23 Sub Penthouse LEVEL 22 Residential LEVEL 21 Residential LEVEL 20 Residential LEVEL 19 Residential 92.900 LEVEL 18 Residential LEVEL 17 Hotel Suites 86.900 LEVEL 16 Hotel Suites LEVEL 15 Hotel Suites LEVEL 13 Hotel LEVEL 11 Hotel O\_65.800 - 10 Hotel SELECTED TILES LAID TO O\_62.800 - ---WATERPROOF MEMBRANE TO ALL TERRACES, BALCONIES AND PLANTERS CEVEL 8 Recreation LEVEL 7 Restaurant
O PRECAST CONCRETE
WALL WITH SCREENII
CONTINUED OVER — PC ALUMINIUM FIXED VERTICAL SOLAR LOUVRES 50.850 SIGNAGE BLADES WITH CORTEN FINISH OR SIMILAR CHEVEL 5 Commercial EXISTING LEVEL 4- Commercial ADJACENT MMJ 0 44.150 BUILDING LEVEL 3- Commercial 40.800 PLANTING TO LANDSCAPE ARCHITECTS DETAILS LEVEL X ĈÉŶÊL CONCRETE AWNING

36.000 RENDERED + PAINTED CTED TILES LAID TO FALLS

R WATERPROOF MEMBRANE BASEMENT 3 24.200 EXTENT OF BASEMENT BASEMENT 4

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R	DA Amended Issue	30.10.14	SH,G W,RB
S	DRP Revision	10.04.15	BB
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MIXED USE PROJECT- REGENCY TOWER

NORTH- ALTERNATIVE I

REGENT STREET DEVELOPMENTS P/L.

013-014

PRD ARCHITECTS

Level 2, 73 Market Street, Wollongong NSW 2500
Phone (102) 4228-3699 Frazislinite (102) 4228-1145

1:400 @ A3

1 RL 115,688 80m, HEIGHT LIMIT RL 111.400 LEVEL ROOF LEVEL 24 Penthouse LEVEL 23 Sub Penthouse 104.900 LEVEL 22 Residentia LEVEL 21 Residentia LEVEL 20 Residential LEVEL 19 Residential LEVEL 18 Residential 89.900 LEVEL 17 Hotel Suites LEVEL 16 Hotel Suites LEVEL 15 Hotel Suites LEVEL 14 Hotel LEVEL 13 Hotel 74.800 LEVEL 12 Hotel LEVEL 11 Hotel GALV STEEL FRAMED STRUCTURES WITH TIMBER BATTENS LEVEL 10 Hotel COLORBOND ROOFING ON STEEL FRAME LEVEL 9 Hotel RL 60.000 1 LEVEL 8 Recreation LEVEL 7 Restaurant 54.200 PC ALUMINIUM FIXED VERTICAL SOLAR LO LEVEL 6 Commercia LEVEL 5 Commercial EXISTING ADJACENT CORTEN SIGNAGE P MMJ BUILDING LEVEL 4- Commercial FACADE INTERFACE OF STREET WALL IN REGENT STREET REPEATED AS SCREEN TO 40.800 RAWSON STREET ENTRY LEVEL 2 36.000 33.000 -REGENT STREET
CONTINUATION OF ACTIVATED
STREET FRONTAGE WITH BASEMENT 1 GLAZED FACADE PROVIDING VISUAL ACCESS TO PUBLIC BASEMENT 2 DOMAIN FLOOR LEVEL STEPPED TO RL 36.0 TO COMPLIMENT THE FOOTPATH INCLINE. MEAN BASEMENT 3 AWNING TO PEDESTRIAN ENTRY 24.200 POINT - EXTENT OF BASEMENT HEIGHT OF GARDEN WALL TO BASEMENT 4 MIXED USE PROJECT- REGENCY TOWER EAST- ALTERNATIVE H REGENT STREET DEVELOPMENTS P/L. 013-014 REGENT ST, WOLLONGONG

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(7) (5) (4) (3) 2 (1) 80m HEIGHT LIMIT LEVEL ROOF LEVEL 24 Penthouse 104.900 LEVEL 22 Residential LEVEL 21 Residential LEVEL 20 Residential LEVEL 19 Residential LEVEL 18 Residential LEVEL 17 Hotel Suites PC ALUMINIUM GLAZED LEVEL 16 Hotel Suite: LEVEL 15 Hotel Suites LEVEL 14 Hotel LEVEL 13 Hotel LEVEL 12 Hotel LEVEL 11 Hotel GALV STEEL FRAMED STRUCTURES WITH TIMBER BATTENS LEVEL 10 Hotel LEVEL 8 Recreation LEVEL 7 Restaurant PC ALUMINIUM FIXED VERTICAL SOLAR LOU LEVEL 6 Commercial LEVEL 5 Commercial EXISTING ADJACENT CORTEN SIGNAGE PA LEVEL 4- Commercial FACADE INTERFACE OF STREET WALL IN REGENT STREET REPEATED AS SCREEN TO RAWSON STREET ENTRY LEVEL 1 REGENT STREET
CONTINUATION OF ACTIVATED
STREET FRONTAGE WITH.
GLAZED FACADE PROVIDING
VISUAL ACCESS TO PUBLIC
DOMAIN BASEMENT BASEMENT 3 FLOOR LEVEL STEPPED TO RL 36.0 TO COMPLIMENT THE FOOTPATH INCLINE, MEAN HEIGHT OF GARDEN WALL TO FOOTPATH 1m AWNING TO PEDESTRIAN ENTRY. - EXTENT OF BASEMENT BASEMENT 4 MIXED USE PROJECT- REGENCY TOWER EAST- ALTERNATIVE I REGENT STREET DEVELOPMENTS P/L. REGENT ST, WOLLONGONG

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S	DRP Revision	10.04.15	88
Т	DRP Revision	04.06.15	SH

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DA32-T

PRD ARCHITECTS

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**(E)** RL 115,688 RL 115.688 80m HEIGHT LIMIT LEVEL ROOF OPERABLE GLASS LOUVRE SYSTEM TO BALCONIES -LEVEL 24 Penthouse PC ALUMINIUM FLOOR TO FLOOR GLAZING SYSTEM LEVEL 23 Sub Penthous LEVEL 22 Residential LEVEL 21 Residential LEVEL 20 Residential LEVEL 19 Residential LEVEL 18 Residential LEVEL 17 Hotel Suites LEVEL 16 Hotel Suites LEVEL 15 Hotel Suites LEVEL 14 Hotel LEVEL 13 Hotel LEVEL 12 Hotel LEVEL 11 Hotel LEVEL 10 Hotel 65.800 LEVEL 9 Hotel LEVEL 8 Recreation LEVEL 7 Restaurant PC ALUMINIUM FIXED VERTICAL SOLAR LOUVRES LEVEL 6 Commercial LEVEL 5 Commerc IDENTIFYING STRUCTURE TO PEDESTRIAN ENTRY POINT FROM CROWN LANE LEVEL 40.800 LEVEL > FLOOR LEVEL STEPPED TO RL 36.0 TO COMPLIMENT THE FOOTPATH INCLINE. MEAN LEVEL 1 FACADE INTERFACE OF STREET WALL IN REGENT STREET REPEATED FEATURE TO RAWSON STREET FRONTAGE TO CREATE A CONTINUOUS STREET WALL RAWSON STREET
NEW HOTEL DROP OFF AND
LOBBY/ DINING ENTRANCE OFF RAWSON STREET
CONTINUATION OF ACTIVATED
STREET FRONTAGE WITH BASEMENT 2 GLAZED FACADE PROVIDING VISUAL ACCESS TO PUBLIC DOMAIN BASEMENT 3 BASEMENT 4

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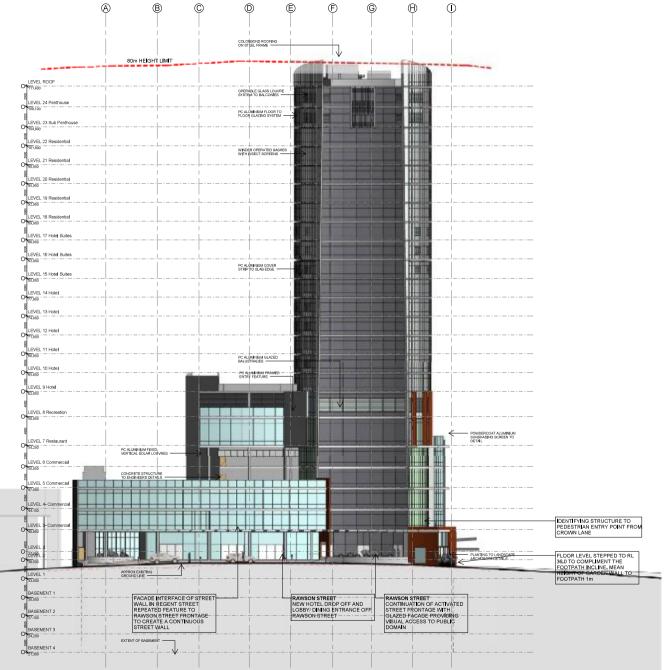
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S	DRP Revision	10.04.15	88
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MIXED USE PROJECT- REGENCY TOWER

**SOUTH- ALTERNATIVE I** 

REGENT STREET DEVELOPMENTS P/L.

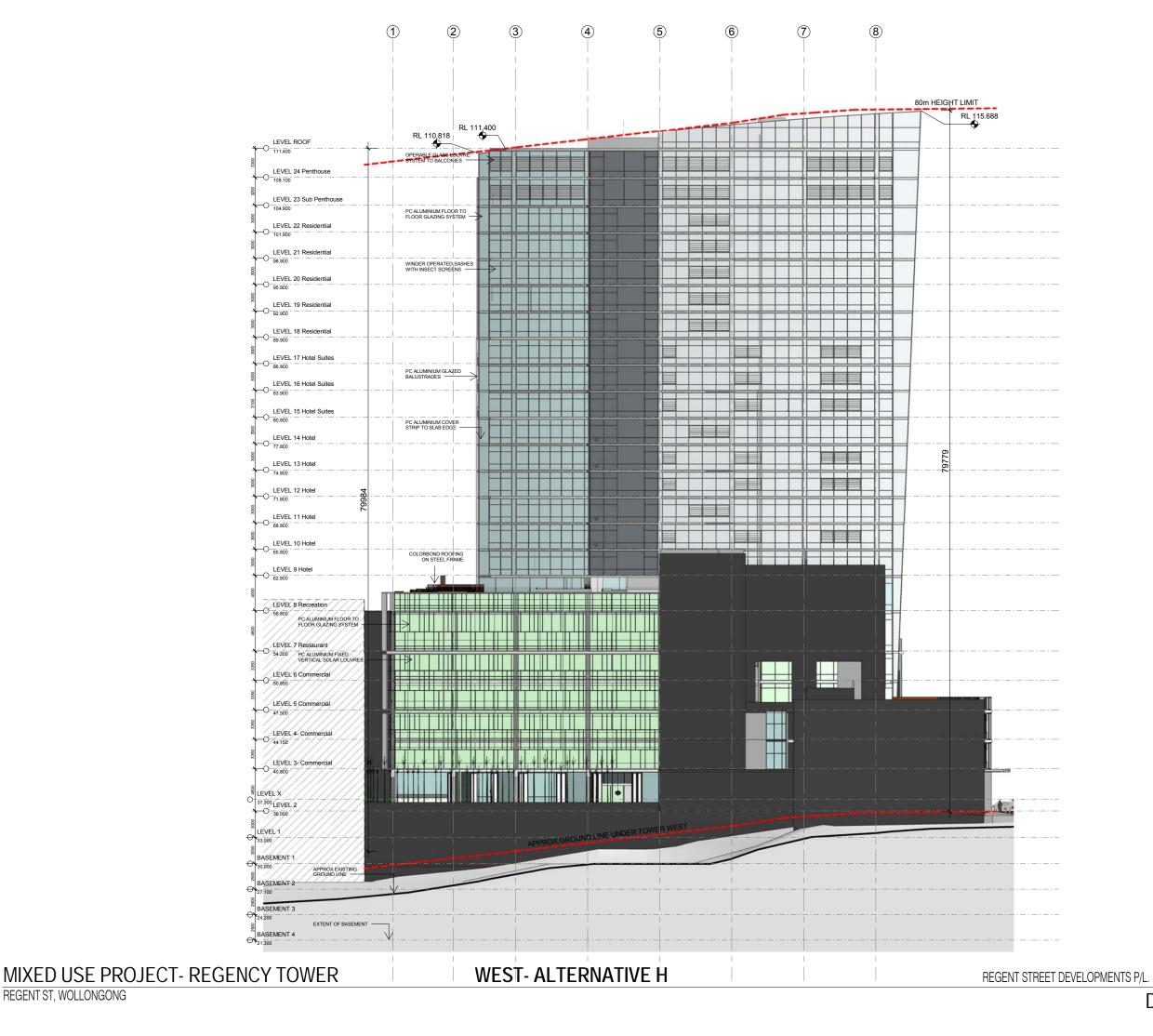
PRD ARCHITECTS

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REGENT ST, WOLLONGONG

DA33-T



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(1) 2 (3) (4) (5) (6) (7) (8) 80m HEIGHT LIMIT LEVEL ROOF OPERABLE GLASS BOUVRE SYSTEM TO BALCONIES LEVEL 24 Penthouse O 108.100 LEVEL 23 Sub Penthouse PC ALUMINIUM FLOOR TO FLOOR GLAZING SYSTEM LEVEL 22 Residential LEVEL 21 Residential WINDER OPERATED SAS WITH INSECT SCREENS LEVEL 20 Residential LEVEL 19 Residential LEVEL 18 Residential LEVEL 17 Hotel Suites PC ALUMINIUM GLAZED BALUSTRADES LEVEL 16 Hotel Suites LEVEL 15 Hotel Suites PC ALUMINIUM COVER STRIP TO SLAB EDGE LEVEL 14 Hotel LEVEL 13 Hotel LEVEL 11 Hotel LEVEL 10 Hotel LEVEL 9 Hotel

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MIXED USE PROJECT- REGENCY TOWER WEST- ALTERNATIVE I REGENT STREET DEVELOPMENTS P/L 013-014
REGENT ST, WOLLONGONG

DA34-T

LEVEL 8 Recreation

58.800

PC ALLMINIUM FLOOR TO FLOOR GLAZING SYSTEM

S4.200 PC ALUMINIUM FIXED VERTICAL SOLAR LOUVE

EXTENT OF BASEMENT -

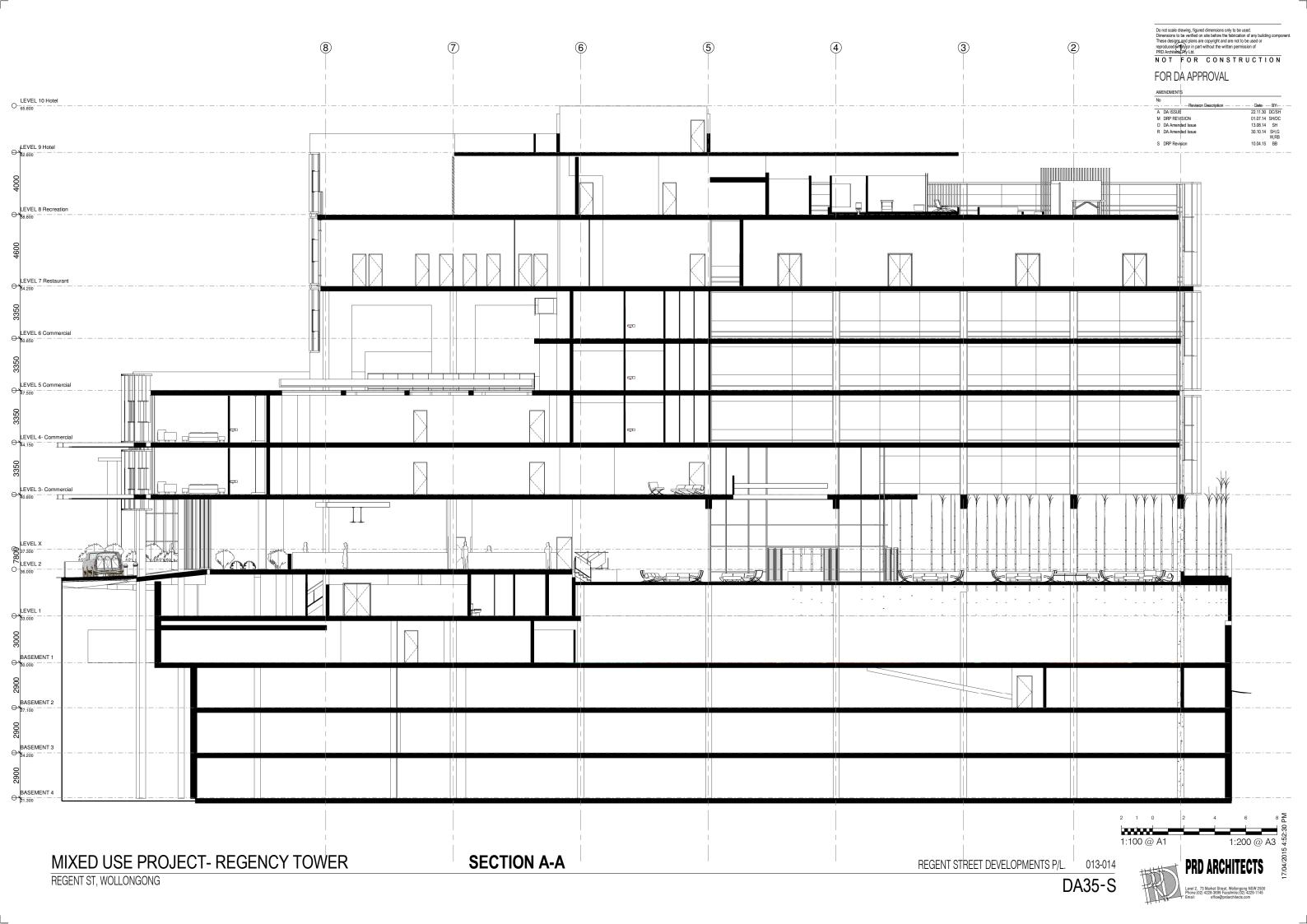
LEVEL 6 Commercial
50,895

LEVEL 5 Commercial
47,903

LEVEL 4 Commercial
44,190

LEVEL 3- Commercial

BASEMENT 4





MIXED USE PROJECT- REGENCY TOWER

**SECTION B-B** 

REGENT STREET DEVELOPMENTS P/L. 013-014

PRD ARCHITECTS

(C)  $\oplus$  $\bigcirc$  $\bigcirc$ (D)  $\bigcirc$  $\bigcirc$ POND TERRACE BBQ POND THE ZENGARDE LEVEL ROOF BEDROOM 2 LEVEL 24 Penthouse TRY STUDY APARTMENT 17 LEVEL 23 Sub Penthouse LEVEL 22 Residentia LEVEL 21 Residentia 95.900 ENTRY APARTME LEVEL 19 Residential LEVEL 18 Residential LEVEL 17 Hotel Suites LEVEL 16 Hotel Suites LEVEL 15 Hotel Suites HOTEL ROOM/83 LEVEL 14 Hotel HOTEL BOOM 78 LEVEL 13 Hotel LEVEL 12 Hotel LEVEL 11 Hotel LEVEL 10 Hotel PLANTING TO LANDSCAPE ARCHITECTS DETAILS LEVEL 9 Hotel LEVEL 8 Recreation FUNCTION ROOM 3 LEVEL 7 Restaurant -O-54.200 PC ALUMINIUM FIXED VERTICAL SOLAR LOUVRES LEVEL 6 Commercial 50.850 CONCRETE STRUCTURE TO ENGINEERS DETAILS LEVEL 5 Commercial 47.500 LEVEL 4- Commercial EXIT PASS GOMMERCIAL SAACE ADJACENT BUILDING LEVEL 3- Commercial VOID don/pol/rise LEVEL 2 O 36.000 LEVEL 1 RAMP RESIDENTIA GARAGE EXIT BASEMENT 1 COMMERCIAL PARKING BASEMENT 2 PIERED + SHOTCRETE EXTERNAL WALL AISLE 24.200 AISLE BASEMENT 4

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MIXED USE PROJECT- REGENCY TOWER

**SECTION C-C** 

REGENT STREET DEVELOPMENTS P/L.

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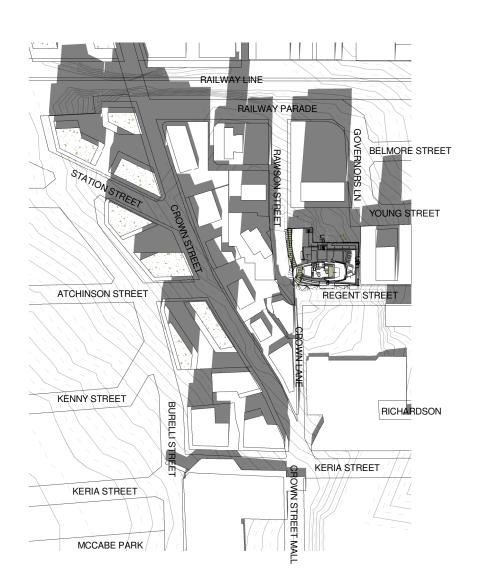
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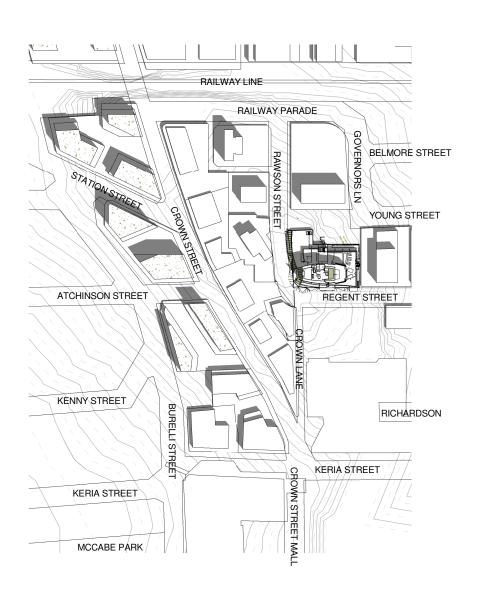
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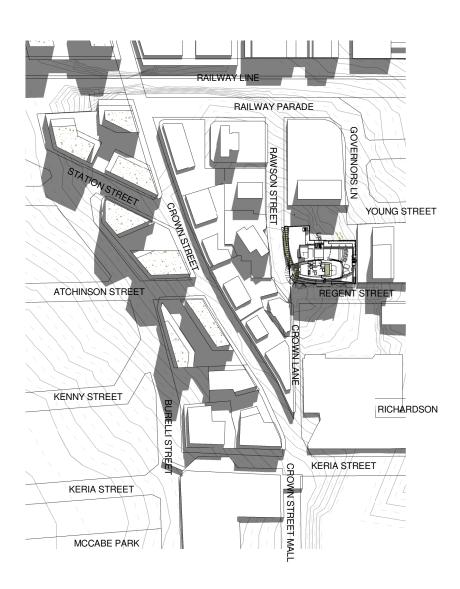
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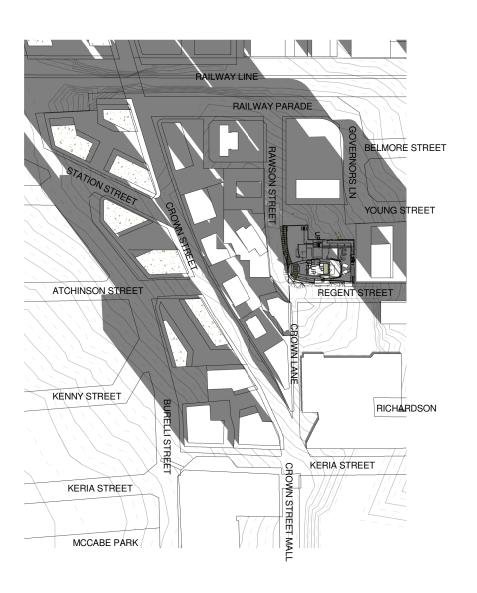
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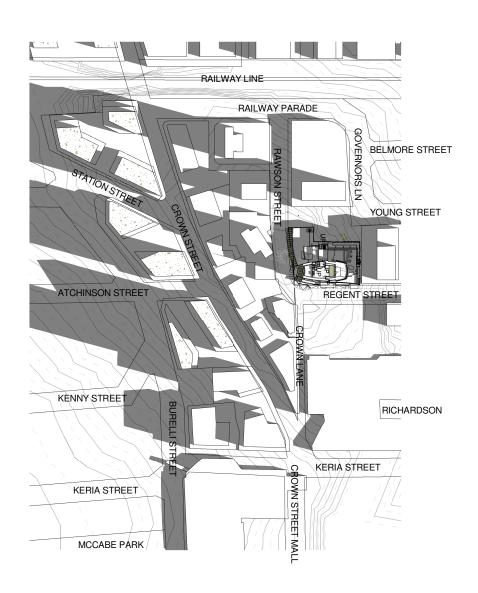
AMENDMENTS

Revision Description	Date
DA ISSUE	22.11.30
DRP REVISION	01.07.14
DA Amended Issue	13.08.14
DA Amended Inc.	20.40.44

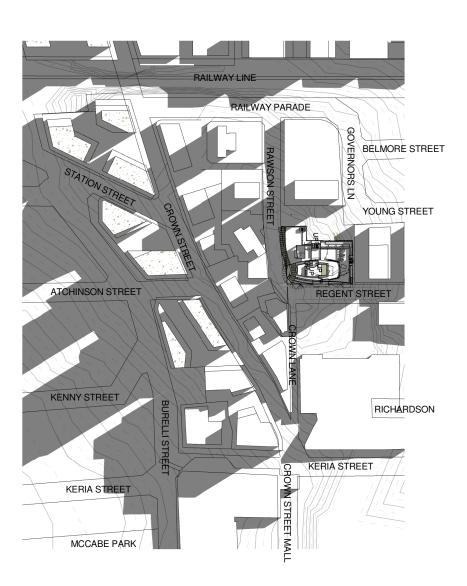
d Issue 30.10.14 on 10.04.15



SHADOW DIAGRAM June 21st 9 am



SHADOW DIAGRAM June 21st 12 noon



SHADOW DIAGRAM June 21st 3 pm



GREY TINTED LOW-E GLASS TO TOWER FACADE



LIGHT GREEN TINTED GLAZING TO TOWER COMMERCIAL LEVELS BEHIND SUN SHADING SCREEN



CORTEN STEEL FEATURE **PANELS** 



CHARCOAL GREY RENDER



**ALUMINIUM MULLIONS** 



#### NOTE:

ALSO REFER TO LANDSCAPE **DOCUMENTATION FOR ADDITIONAL MATERAL SELECTIONS** 



PRECAST CONRETE PANELS



WHITE RENDER TO CONCRETE SOFFIT



GLASS LOUVRES TO MATCH TOWER GLAZING TO BALCONIES



**GLAZED BALUSTRADES AS** INDINCATED



SANDSTONE TILE FINISH OR SIMILAR TO PLANTER BEDS AND RETAINING WALLS



TIMBER DECKING TO POOL AREA'S AND TERRACES



LARGE FORMAT STONE TILES OR SIMILAR TO PUBLIC ENTRIES

## NOT FOR CONSTRUCTION

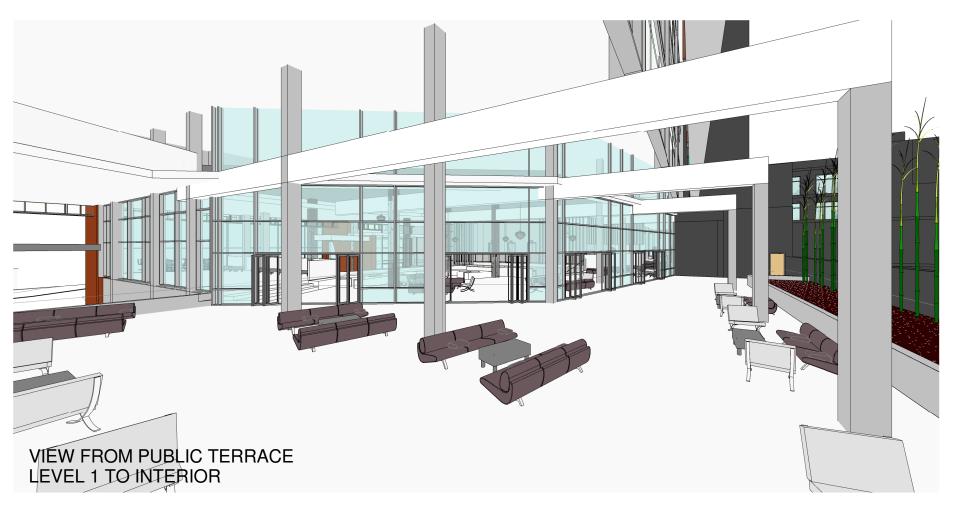
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	Revision Description	Date	E
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Μ	DRP REVISION	01.07.14	SH
0	DA Amended Issue	13.08.14	;
R	DA Amended Issue	30.10.14	S
^	DDD D. 111.	10.04.15	



VIEW FROM HOTEL LOBBY TO PUBLIC **SPACE** 



VIEW FROM COMMERCIAL ENTRY TO PUBLIC SPACE/ LOBBY





VIEW THROUGH HOTEL LOBBY

MIXED USE PROJECT- REGENCY TOWER

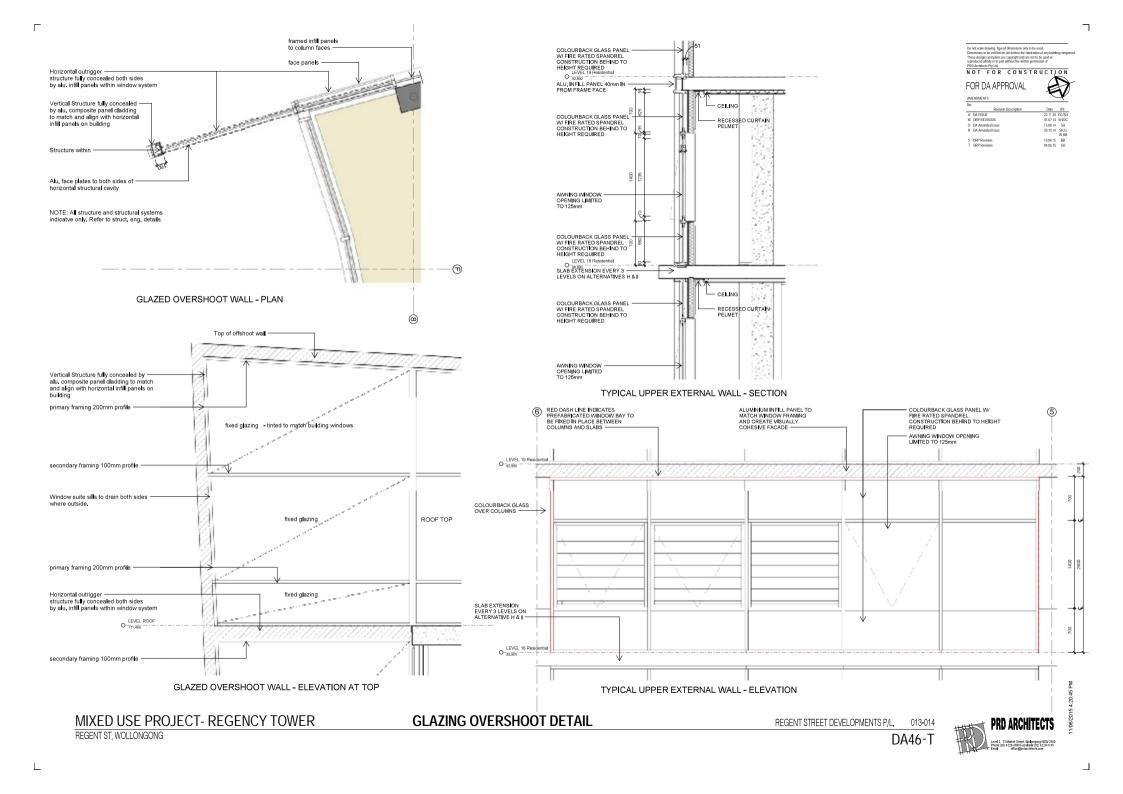
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REGENT STREET DEVELOPMENTS P/L. 013-014

PRD ARCHITECTS DA45-S

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	Revision Description	Date	BY:			
1	DA ISSUE	22.11.30	DC/SH			
Λ	DRP REVISION	01.07.14	SH/DC			
)	DA Amended Issue	13.08.14	SH			
2	DA Amended Issue	30.10.14	SH,G			

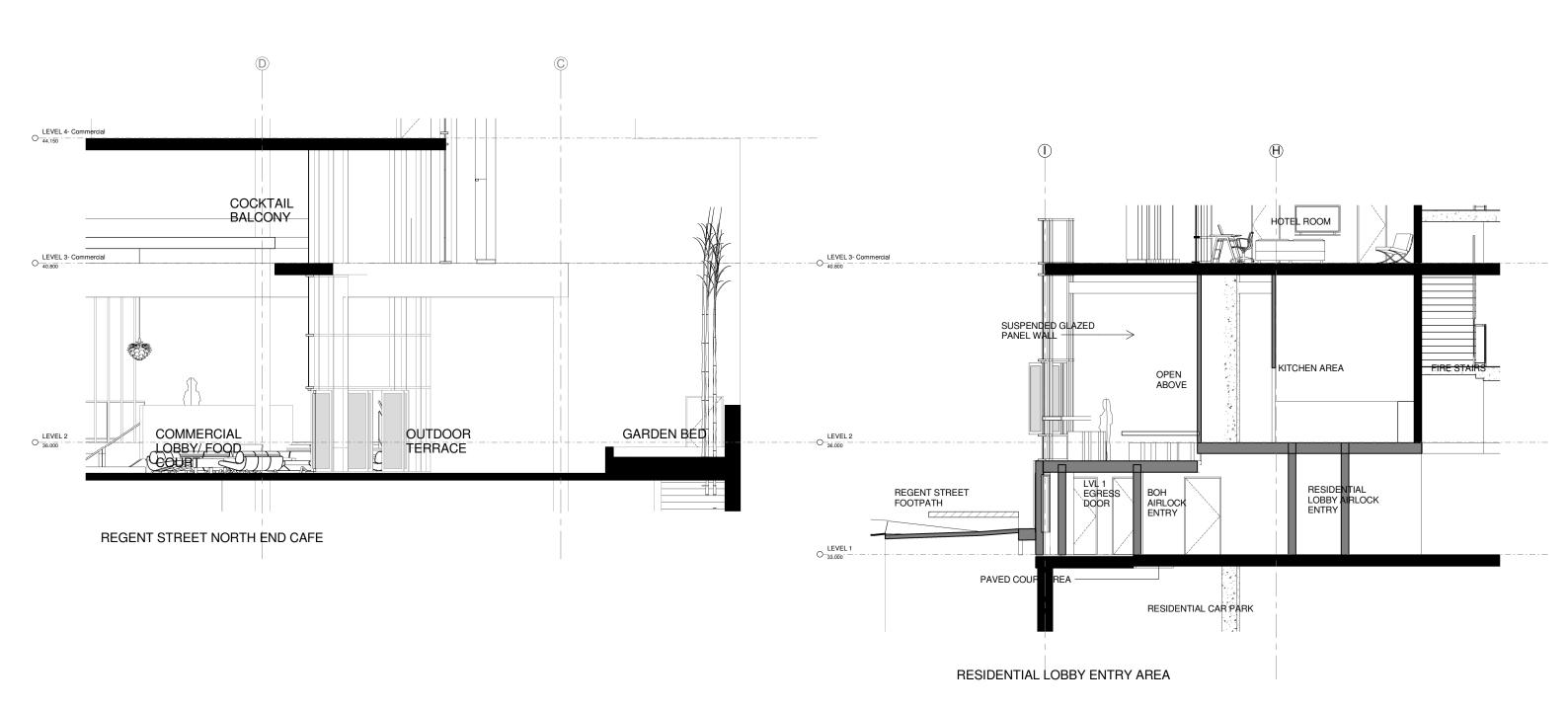


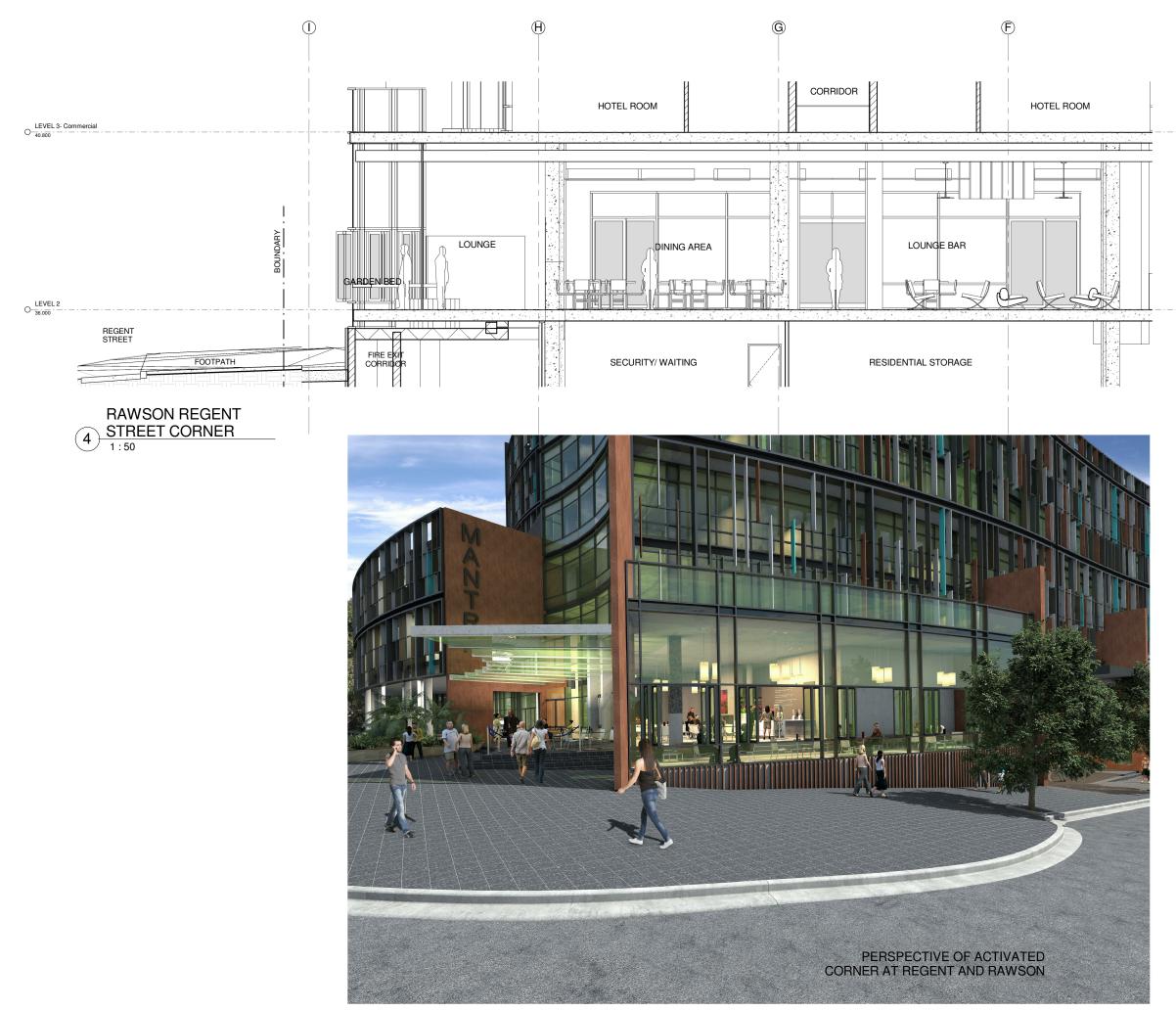
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	Revision Description	Date	
Α	DA ISSUE	22.11.30	D
М	DRP REVISION	01.07.14	SI
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s	DRP Revision	10.04.15	





REGENT STREET DEVELOPMENTS P/L.

013-014

PRD ARCHITECTS

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FOR DA APPROVAL

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R DA Amended Issue S DRP Revision

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	Revision Description	Date	В
Α	DA ISSUE	22.11.30	DC
М	DRP REVISION	01.07.14	SH
0	DA Amended Issue	13.08.14	S
R	DA Amended Issue	30.10.14	SI- W,
S	DPP Pavision	10.04.15	F



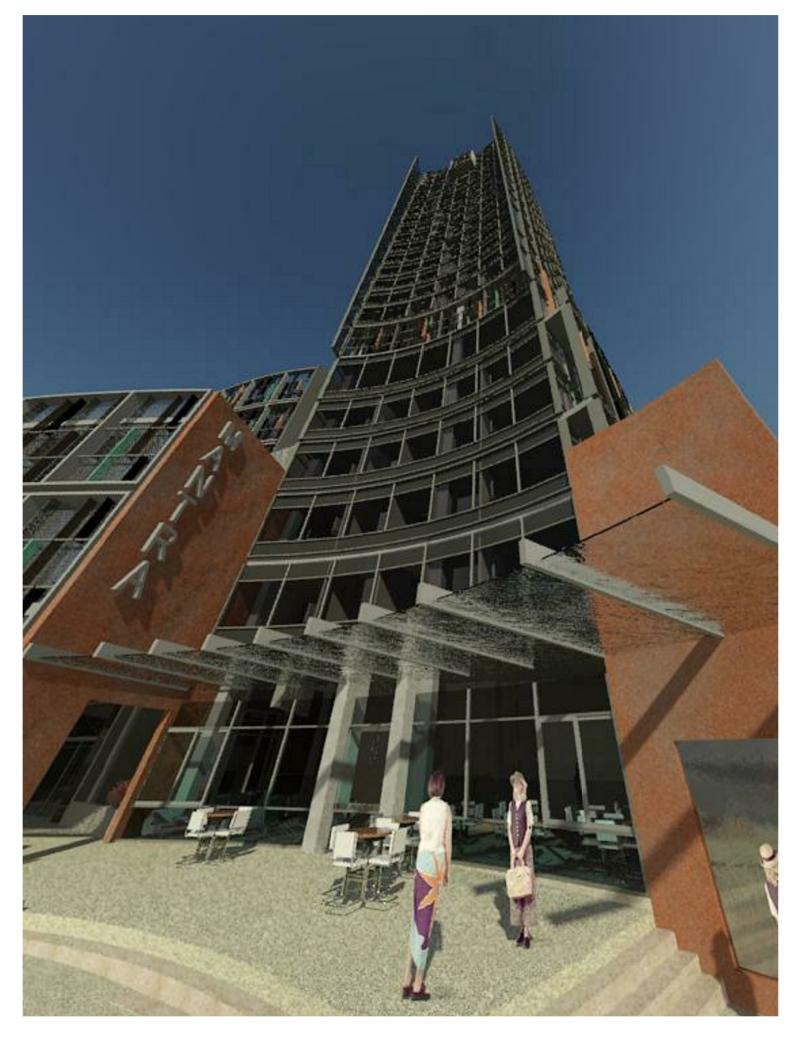


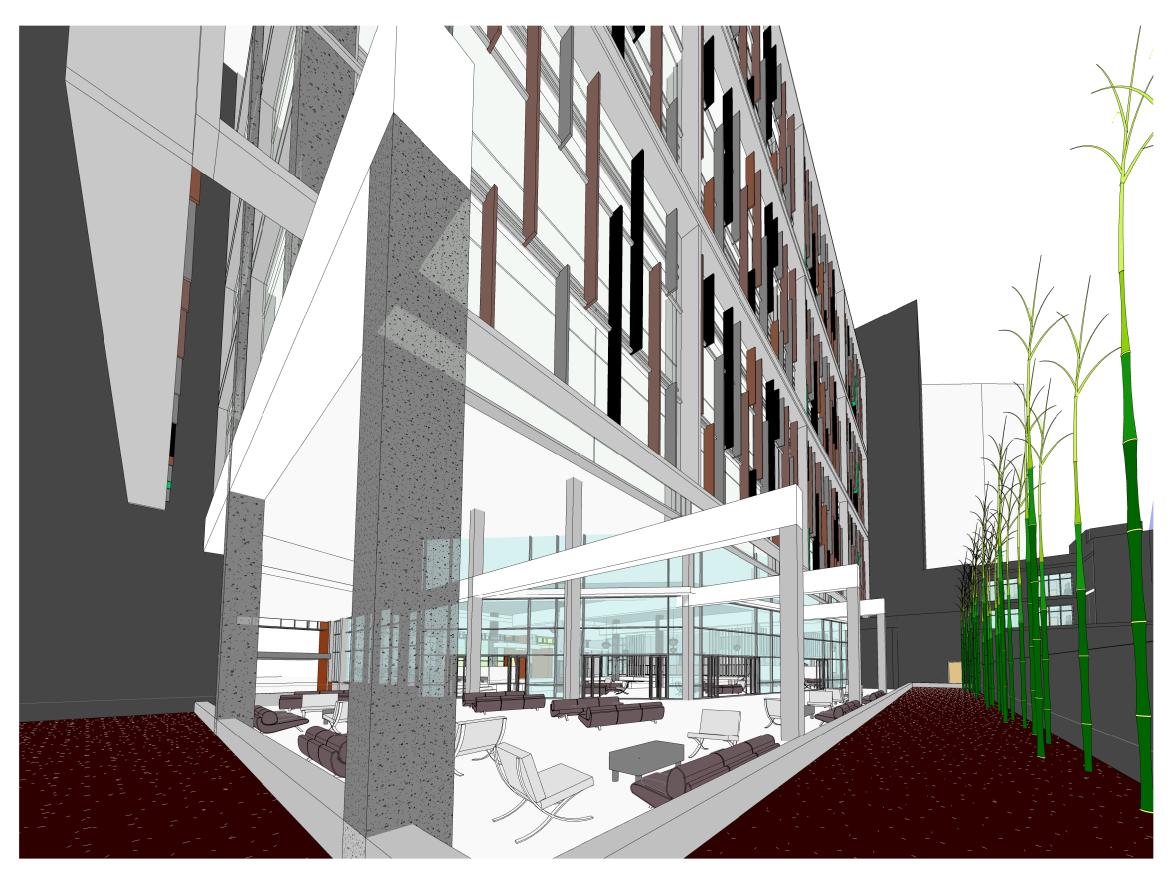
VIEW TO HOTEL LOBBY ATRIUM

VIEW TO COMMERCIAL LOBBY



PRD ARCHITECTS







SOUTHERN GLAZING SAILS PAST THE ROOF SLAB WHILE THE NORTHERN HALF TERMINATES

NORTH AND SOUTH SIDE SIMPLIFIED AND SLAB EXPRESSIONS CARRIED TO PODIUM BELOW TO TIE IN THE ARCHITECTURAL LANGUAGE

BUILDING 'SPINE' CONTINUOUS
TO GROUND SPLITS THE FACADE INTO 3 ELEMENTS WHILE VISUALY SIGNALING THE MAIN POINT OF ENTRY TO REGENCY TOWER



FEATURED SLAB EDGE EVERY 3 LEVELS IN CARRIED INTO THE PODIUM TO CONNECT THE TOWER AND PODIUM WITHOUT OVERWHELMING THE SIMPLIFIED FACADE

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MIXED USE PROJECT- REGENCY TOWER

**Alternative I- No Screening** 

REGENT STREET DEVELOPMENTS P/L.

013-014

PRD ARCHITECTS

REGENT ST, WOLLONGONG

DA68-T



SOUTHERN GLAZING SAILS PAST THE ROOF SLAB WHILE THE NORTHERN HALF TERMINATES

NORTH SIDE SIMPLIFIED AND SLAB EXPRESSIONS CARRIED TO PODIUM BELOW TO TIE IN THE ARCHITECTURAL LANGUAGE

BUILDING 'SPINE' CONTINUOUS
TO GROUND SPLITS THE FACADE INTO 3 ELEMENTS WHILE VISUALY SIGNALING THE MAIN POINT OF ENTRY TO REGENCY TOWER



NOT FOR CONSTRUCTION

FEATURED SLAB EDGE FOR DA APPROVAL

GLAZING FROM BOTH NORTH AND SOUTH
SIDE OF THE TOWER
BROUGHT DOWN TO
CONNECT GENTLY WITH THE PODIUM WITH NO GAP TO EAST WEST

EVERY 3 LEVELS IN

CARRIED INTO THE

PODIUM WITHOUT

PODIUM TO CONNECT THE TOWER AND

OVERWHELMING THE SIMPLIFIED FACADE

GLAZING FROM DINING AREA ONTO REGENT STREET FLLY OPERABLE TO ACTIVATE STREET FRONT AND ALLOW WEATHER CONTROL

SCREENING SIMPLIFIED AND FORMATTED BETWEEN SLAB LINE







MIXED USE PROJECT- REGENCY TOWER

Alternative H- Screening to Rawson Street

REGENT STREET DEVELOPMENTS P/L.

DA69-T

REGENT ST, WOLLONGONG

PRD ARCHITECTS





EXPRESSED SLAB EDGES LEFT AS FINISHED CAST IN SITU CONCRETE AS OPPOSED TO PAINTED WHITE AS REQUESTED BY COUNCIL







MIXED USE PROJECT- REGENCY TOWER

**Alternative H- Concrete Slab Exressions** 

REGENT STREET DEVELOPMENTS P/L.

DA69.2-T

PRD ARCHITECTS

REGENT ST, WOLLONGONG