

REGENCY TOWER

DEVELOPMENT INFORMATION

10-18 REGENT STREET, WOLLONGONG

SITE AREA- 3648.3m²

FLOOR SPACE:-
COMMERCIAL- 3786.6m²- 18.9%
RESIDENTIAL- 4173.4m²- 20.9%
HOTEL- 12022.4m²- 60.2%

TOTAL FLOOR AREA- 19982.4m²

MAX FSR- 19 9983.5m² or 5.48:1
PROPOSED FSR 19 9982.4m² or 5.48:1

LANDSCAPED AREA REQUIRED 543.0m²
LANDSCAPED AREA PROVIDED 607.8m² Approx LS to be revised

CARPARKING: TOTAL 329 SPACES
COMMERCIAL- 69 SPACES
RESIDENTIAL- 49 SPACES + 6 VISITOR
HOTEL- 147 SPACES + 40 VALET

HOTEL ROOMS-
163 HOTEL ROOMS
27 SUITES

RESIDENCES-
20 x 3 BEDROOM APARTMENTS
2 SUB PENTHOUSES
PENTHOUSE

Drawing List					
Sheet Number	Current Revision	Sheet Name	Issue Date	Drawn By	Approved By
DA00	O	TITLE SHEET	30.10.14	DC & SH	PR
DA01	T	SITE ANALYSIS PLAN	30.10.14	DC & SH	PR
DA02	S	SURVEY PLAN	30.10.14	DC & SH	PR
DA03	S	SITE PLAN	30.10.14	DC & SH	PR
DA04	S	SITE MANAGEMENT PLAN	30.10.14	DC & SH	PR
DA05	S	BASEMENT 4- HOTEL VALET CARPARK RL.21.3	30.10.14	DC & SH	PR
DA06	S	BASEMENT 3 - COMMERCIAL / HOTEL CARPARK RL. 24.2	30.10.14	DC & SH	PR
DA07	S	BASEMENT 2- COMMERCIAL CARPARK RL.27.1	30.10.14	DC & SH	PR
DA08	S	BASEMENT 1- RESIDENTIAL CARPARK RL. 30.0	30.10.14	DC & SH	PR
DA09	T	LEVEL 1- COMMERCIAL LOBBY + HOTEL BOH	30.10.14	DC & SH	PR
DA10	S	LEVEL 1- FRONT OF HOUSE	30.10.14	DC & SH	PR
DA11	T	LEVEL 2- HOTEL LOBBY	30.10.14	DC & SH	PR
DA12	S	LEVEL 2 FRONT OF HOUSE	30.10.14	DC & SH	PR
DA13	S	LEVEL 2 BACK OF HOUSE	30.10.14	DC & SH	PR
DA14	T	HOTEL/ COMMERCIAL- LEVEL 3 - 22 ROOMS	30.10.14	DC & SH	PR
DA15	S	HOTEL/ COMMERCIAL LEVEL 3- FRONT OF HOUSE	30.10.14	DC & SH	PR
DA16	S	LEVEL 3- BACK OF HOUSE	30.10.14	DC & SH	PR
DA17	T	HOTEL/ COMMERCIAL- LEVEL 4- 23 ROOMS	30.10.14	DC & SH	PR
DA18	S	HOTEL / COMMERCIAL LEVELS 4 - 6- FRONT OF HOUSE	30.10.14	DC & SH	PR
DA19	S	HOTEL/ COMMERCIAL LEVEL 4 - BACK OF HOUSE	30.10.14	DC & SH	PR
DA20	T	HOTEL/ COMMERCIAL LEVEL 5 , 8 ROOMS	30.10.14	DC & SH	PR
DA21	T	HOTEL/ COMMERCIAL LEVEL 6, 8 ROOMS	30.10.14	DC & SH	PR
DA22	T	LEVEL 7- FUNCTION/ RESTAURANT	30.10.14	DC & SH	PR
DA23	T	LEVEL 8- RECREATION	30.10.14	DC & SH	PR
DA24	T	HOTEL LEVELS 9-14, 16 ROOMS / LEVEL- 96 TOTAL	30.10.14	DC & SH	PR
DA25	T	HOTEL LEVELS 15-17, 9 SUITES / LEVEL - TOTAL 27	30.10.14	DC & SH	PR
DA26	T	RESIDENTIAL LEVELS 18-22	30.10.14	DC & SH	PR
DA28	S	RESIDENTIAL SUB PENTHOUSE	30.10.14	DC & SH	PR
DA29	S	PENTHOUSE	30.10.14	DC & SH	PR
DA30	T	ROOF	30.10.14	DC & SH	PR
DA31	T	NORTH- ALTERNATIVE H	30.10.14	DC & SH	PR
DA32	T	EAST- ALTERNATIVE H	30.10.14	DC & SH	PR
DA33	T	SOUTH- ALTERNATIVE H	30.10.14	DC & SH	PR
DA34	T	WEST- ALTERNATIVE H	30.10.14	DC & SH	PR
DA35	S	SECTION A-A	30.10.14	DC & SH	PR
DA36	S	SECTION B-B	30.10.14	DC & SH	PR
DA37	S	SECTION C-C	30.10.14	DC & SH	PR

Drawing List					
Sheet Number	Current Revision	Sheet Name	Issue Date	Drawn By	Approved By
DA38	S	SHADOW DIAGRAMS SUMMER	30.10.14	DC & SH	PR
DA39	S	SHADOW DIAGRAMS WINTER	30.10.14	DC & SH	PR
DA40	S	FINSHES SCHEDULE	30.10.14	DC & SH	PR
DA40.2	T	FINISHES SCHEDULE- NO SCREENING	07/15/15	Author	Approver
DA41	S	COMMERCIAL SCREEN DETAIL	30.10.14	DC & SH	PR
DA44	S	3D	30.10.14	DC & SH	PR
DA45	S	3D	30.10.14	DC & SH	PR
DA46	T	GLAZING OVERSHOOT DETAIL	30.10.14	SH	PR
DA47	S	DETAIL SECTIONS 1	30.10.14	SH	PR
DA48		FACADE DETAILS	06/09/15	Author	Approver
DA49	S	REGENT / RAWSON STREET FRONTAGE	30.10.14	SH	PR
DA50	S	PERSPECTIVE IMAGES	30.10.14	SH	PR
DA51	T	LOBBY SECTION	30.10.14	Author	Approver
DA53	S	3D Perspective- Regent/Rawson Street Plaza	10/31/14	Author	Approver
DA55	S	3D Perspective- Commercial/ Residential Entry	11/03/14	Author	Approver
DA56	S	3D Perspective- Commercial Outdoor Terrace/Lounge	11/03/14	Author	Approver
DA66	S	NEW EAST FACADE FLOOR PLANS	3/25/2015	Author	Approver
DA67	S	NEW EAST FACADE FLOOR PLANS	3/27/2015	Author	Approver
DA68	T	Alternative I- No Screening	06/04/15	Author	Approver
DA69	T	Alternative H- Screening to Rawson Street	06/04/15	Author	Approver
DA69.2	T	Alternative H- Concrete Slab Exressions	06/12/15	Author	Approver
DA70	T	Alternative G- Simple Angled Glazing to Tower	06/04/15	Author	Approver
DA71	T	Alternative F- Angled Glazing to Podium	06/04/15	Author	Approver
DA72	T	Alternative E- Selected by DRP	02/06/15	Author	Approver
DA73	T	EXISTING CONTEXT PERSPECTIVE- GOLF COURSE	06/05/15	Author	Approver
DA74	T	FUTURE CONTEXT PERSPECTIVE- GOLF COURSE	06/05/15	Author	Approver
DA75	T	EXISTING CONTEXT PERSPECTIVE- FLAGSTAFF HILL	06/05/15	Author	Approver
DA76	T	EXISTING CONTEXT PERSPECTIVE- FLAGSTAFF HILL	06/05/15	Author	Approver
DA77	T	EXISTING CONTEXT PERSPECTIVE- SMITHS HILL	06/05/15	Author	Approver
DA78	T	FUTURE CONTEXT PERSPECTIVE- SMITHS HILL	06/05/15	Author	Approver
DA79	T	EXISTING CONTEXT PERSPECTIVE- BEATON PARK	06/08/15	Author	Approver
DA80	T	FUTURE CONTEXT PERSPECTIVE- BEATON PARK	06/08/15	Author	Approver



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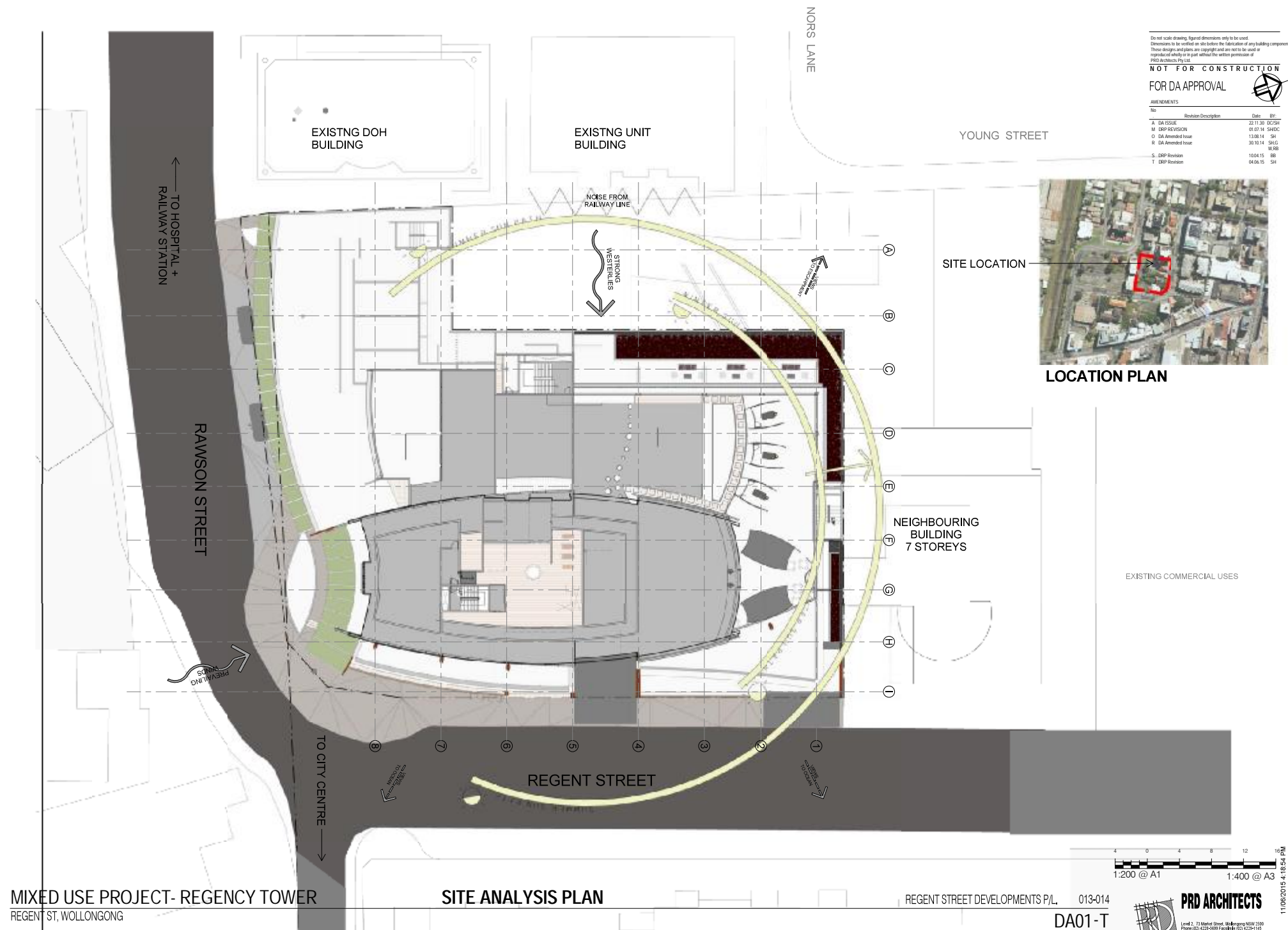
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AMENDMENTS			
No	Revision Description	Date	BY:
A	DA ISSUE	22.11.20	DC/SH
M	DRP REVISION	01.07.14	SH/DC
O	DA Amended Issue	13.08.14	SH
R	DA Amended Issue	30.10.14	SH/G
S	DRP Revision	10.04.15	BB
T	DRP Revision	04.06.15	SH



LOCATION PLAN

EXISTING COMMERCIAL USES



MIXED USE PROJECT- REGENCY TOWER
 REGENT ST, WOLLONGONG

SITE ANALYSIS PLAN

REGENT STREET DEVELOPMENTS P/L 013-014

DA01-T

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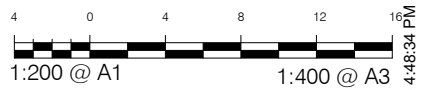
MIXED USE PROJECT- REGENCY TOWER

REGENT ST, WOLLONGONG

SURVEY PLAN

REGENT STREET DEVELOPMENTS P/L. 013-014

DA02-S

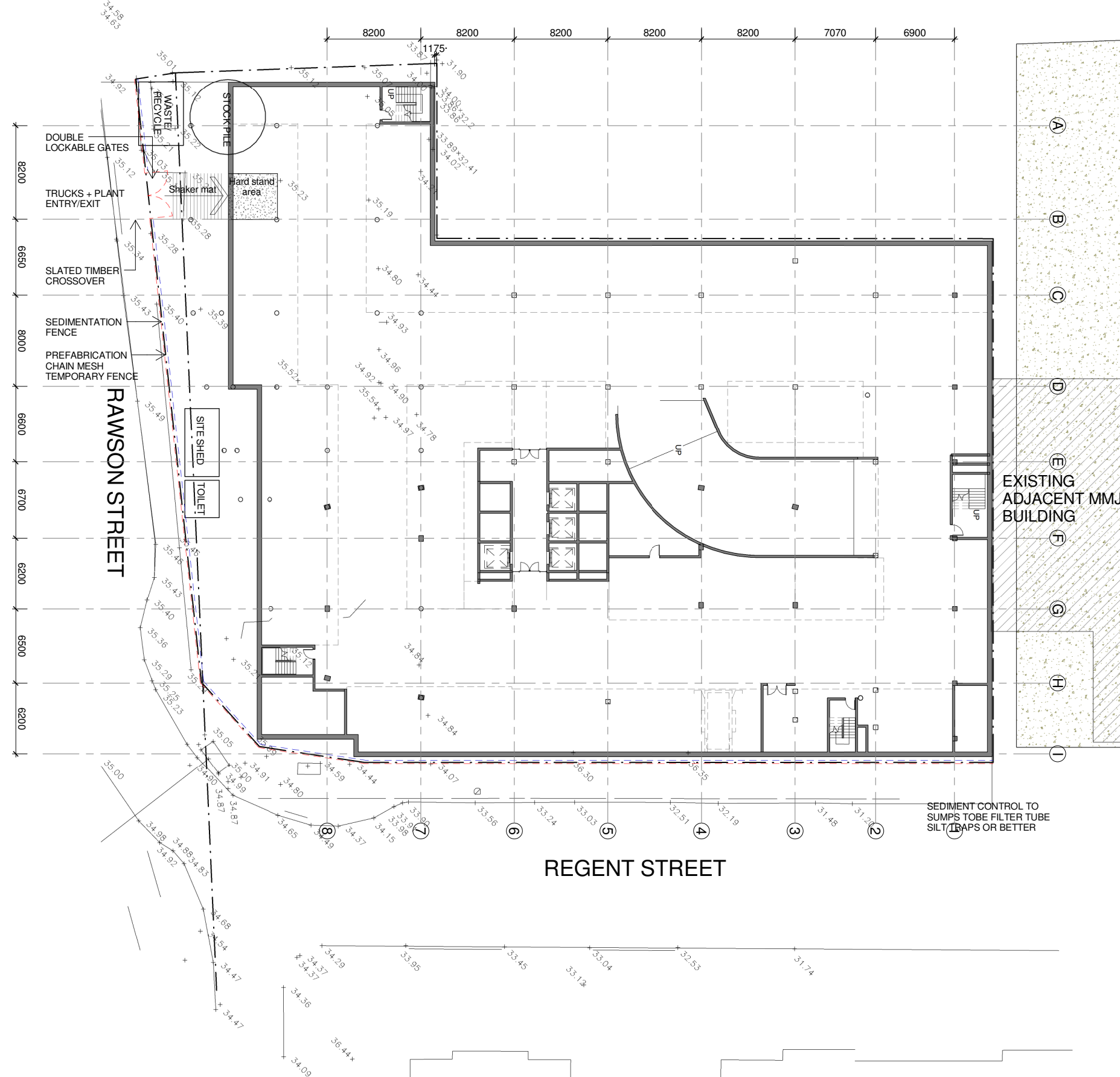


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S DRP Revision 10.04.15 BB



1) THIS PLAN SHALL BE READ IN CONJUNCTION WITH THE ENGINEERING PLANS, AND ANY OTHER PLANS OR WRITTEN INSTRUCTIONS THAT MAY BE ISSUED AND RELATING TO DEVELOPMENT AT THE SUBJECT SITE.

- 3) ALL SUB CONTRACTORS SHALL BE MADE AWARE OF THEIR RESPONSIBILITIES IN MINIMISING THE POTENTIAL FOR SOIL EROSION AND POLLUTION TO DOWN-SLOPE LANDS AND WATERWAYS.
- 4) WHERE PRACTICAL, THE SOIL EROSION HAZARD ON THE SITE SHALL BE KEPT AS LOW AS POSSIBLE TO THIS END, WORKS SHOULD BE UNDERTAKEN IN THE FOLLOWING SEQUENCE:
 - A) INSTALL ANY NECESSARY SECURITY/BOUNDARY FENCES FOR THIS SITE;
 - B) CONSTRUCT SILT FENCING AS DETAILED ALONG BOUNDARIES + CONTOURS.
- 5) DURING WINDY WEATHER, LARGE UNPROTECTED AREAS SHALL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL.
- 6) FINAL SITE LANDSCAPING SHALL BE UNDERTAKEN AS SOON AS POSSIBLE, AND WITHIN 20 WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES.
- 7) ANY SAND USED IN THE CONCRETE CURING PROCESS (BENEATH THE SURFACE) SHALL BE REMOVED AS SOON AS POSSIBLE, AND WITHIN TEN WORKING DAYS FROM PLACEMENT.
- 8) WATER SHALL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM, UNLESS IT IS SEDIMENT-FREE; ie, THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED THROUGH AN APPROVED STRUCTURE.
- 9) TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES SHALL BE REMOVED ONLY AFTER THE LANDS THEY PROTECTED ARE REHABILITATED.
- 10) THE CONTRACTOR SHALL PROVIDE ACCEPTABLE RECEPTORS FOR CONCRETE & MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER.

1) NOTE THAT THE PROPOSED WORKS
WILL BE UNDERTAKEN WHILST THE
BUILDING & SITE IS VACANT.

- 3) A NEW HARD STAND AREA + SHAKER GRID SHALL BE CONSTRUCTED ON CORKWOOD CIRCUIT FRONTAGE DURING A PHASES OF THE PROJECT. ALL TO CONFORM WITH THE REQUIREMENTS OF THE LOCAL COUNCIL AND RTA.
- 4) DURING CONSTRUCTION PHASE AN AREA IS SET ASIDE ON SITE FOR USE OF MOBILE CRANE OR CONCRETE PUMP.
- 5) ALL CONSTRUCTION MATERIALS ARE TO BE STORED ON SITE. A DESIGNATED AREA HAS BEEN ALLOWED.
- 6) ALL SITE ACCOMMODATION + AMENITIES AS REQUIRED WILL BE LOCATED WITHIN THE SITE. SOME SITE SERVICES MAY BE RELOCATED ON THE PODIUM LEVEL IN THE FINAL PHASE OF CONSTRUCTION.
- 7) A DILAPIDATION SURVEY WILL BE CARRIED OUT BY THE CONTRACTOR BEFORE THE COMMENCEMENT OF ANY WORK ON SITE.

AS2601 Demolition of structures
AS2436 Guide to noise control....demolition sites
AS3798 Guide on earthworks....residential developments
AS1289 Methods of testing soils for engineering purposes
AS1725 Galvanised railless chainwire security fencing

1) BUILDER SHALL PROVIDE SEDIMENT FENCING MATERIAL DURING CONSTRUCTION TO BE INSTALLED INSIDE SITE FENCING ON LOW SIDES OF SITE TO CONTAIN ALL SITE WATER RUN OFF & PREVENT EROSION. TIE SEDIMENT FENCING MATERIAL TO SECURITY FENCE. SEDIMENT CONTROL FABRIC SHALL BE AN APPROVED MATERIAL (E.G., HUMES PROPEX SILT STOP) STANDING 500 MIN. ABOVE GROUND & EXTENDING 150 BELOW GROUND.

- WITH HESSIAN BAGS. ALL TO CONFORM WITH THE REQUIREMENTS OF THE LOCAL COUNCIL AND RTA.
- 3) EXISTING DRAINS LOCATED WITHIN THE SITE SHALL BE ISOLATED BY SEDIMENT CONTROL.
- 4) NO PARKING OR STOCK PILING OF MATERIAL IS PERMITTED IN THE PUBLIC DOMAIN UNLESS STATED.
- 5) GRASS VERGES SHALL BE MAINTAINED AS MUCH AS PRACTICAL TO PROVIDE A BUFFER ZONE TO THE CONSTRUCTION SITE.
- 6) CONSTRUCTION ENTRY/EXITS SHALL BE LOCATED AS PER DWG. BUILDER SHALL ENSURE ALL DROPPED SOIL & SEDIMENT REMOVED PRIOR TO CONSTRUCTION TRAFFIC EXITING SITE. BUILDER SHALL ENSURE ALL CONSTRUCTION TRAFFIC ENTERING & LEAVING THE SITE DO SO IN A FORWARD DIRECTION AS MUCH AS POSSIBLE.
- 7) SITE SECURITY FENCING TO CONSIST OF 1800MM GALVANIZED STEEL RAIL MESH PANELS FIXED TO GALVANIZED PIPE FRAME & SUPPORTED ON CONCRETE FEET.
- 11) RECEPTORS FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND DEBRIS ARE TO BE EMPTIED AS NECESSARY. DISPOSAL OF WASTE SHALL BE IN A MANNER APPROVED BY THE SITE SUPERINTENDENT.
- 12) AT LEAST WEEKLY THE CONTRACTOR SHALL INSPECT THE SITE, PROVIDING PARTICULAR ATTENTION TO THE FOLLOWING MATTERS:
 - A) ENSURE DRAINS OPERATE EFFECTIVELY, AND INITIATE REPAIR OR MAINTENANCE AS REQUIRED.
 - B) REMOVE SPILLED SAND (OR OTHER MATERIALS) FROM HAZARD AREAS, INCLUDING LANDS OVER 2 METRES FROM AREAS OF CONFINED AREAS OR HIGH-VELOCITY FLOWS SUCH AS WATERWAYS, GUTTERS, PAVED AREAS AND DRIVEWAYS.
 - C) CONSTRUCT ADDITIONAL EROSION AND/OR SEDIMENT WORKS AS NECESSARY TO ENSURE THE DESIRED PROTECTION IS GIVEN TO DOWNSTREAM AREAS AND WATERWAYS, ie, MAKE ONGOING CHANGES TO THE PLAN.
 - D) MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN A FUNCTIONING CONDITION UNTIL ALL EARTHWORK ACTIVITIES ARE COMPLETED AND THE SITE REVEGETATED.
 - E) REMOVE TEMPORARY SOIL CONSTRUCTION STRUCTURES AS A LAST ACTIVITY IN THE REHABILITATION PROGRAMME.

- A) THE VOLUME OF ANY RAINFALL EVENTS (CHECK WATER BUREAU).
B) THE CONDITION OF ANY SOIL AND WATER MANAGEMENT WORKS.
C) REMEDIAL WORK.
THE BOOK SHALL BE KEPT ON SITE AND MADE AVAILABLE TO ANY AUTHORISED PERSON ON REQUEST.

1. TRADE WASTE TO BE SEPARATED TO RECYCLE PRODUCTS, TIMBER, GLASS AND PAPER.

3. ADDITIONAL CARPARKING TO BE PROVIDED ON SITE FOLLOWING CONSTRUCTION OF BASEMENT CARPARKING AREA.
4. ALL VEHICLES TO LEAVE THE SITE IN A FORWARD DIRECTION.
5. NO VEHICLES TO BE PARKED ON FOOTPATH RESERVE

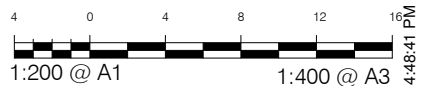
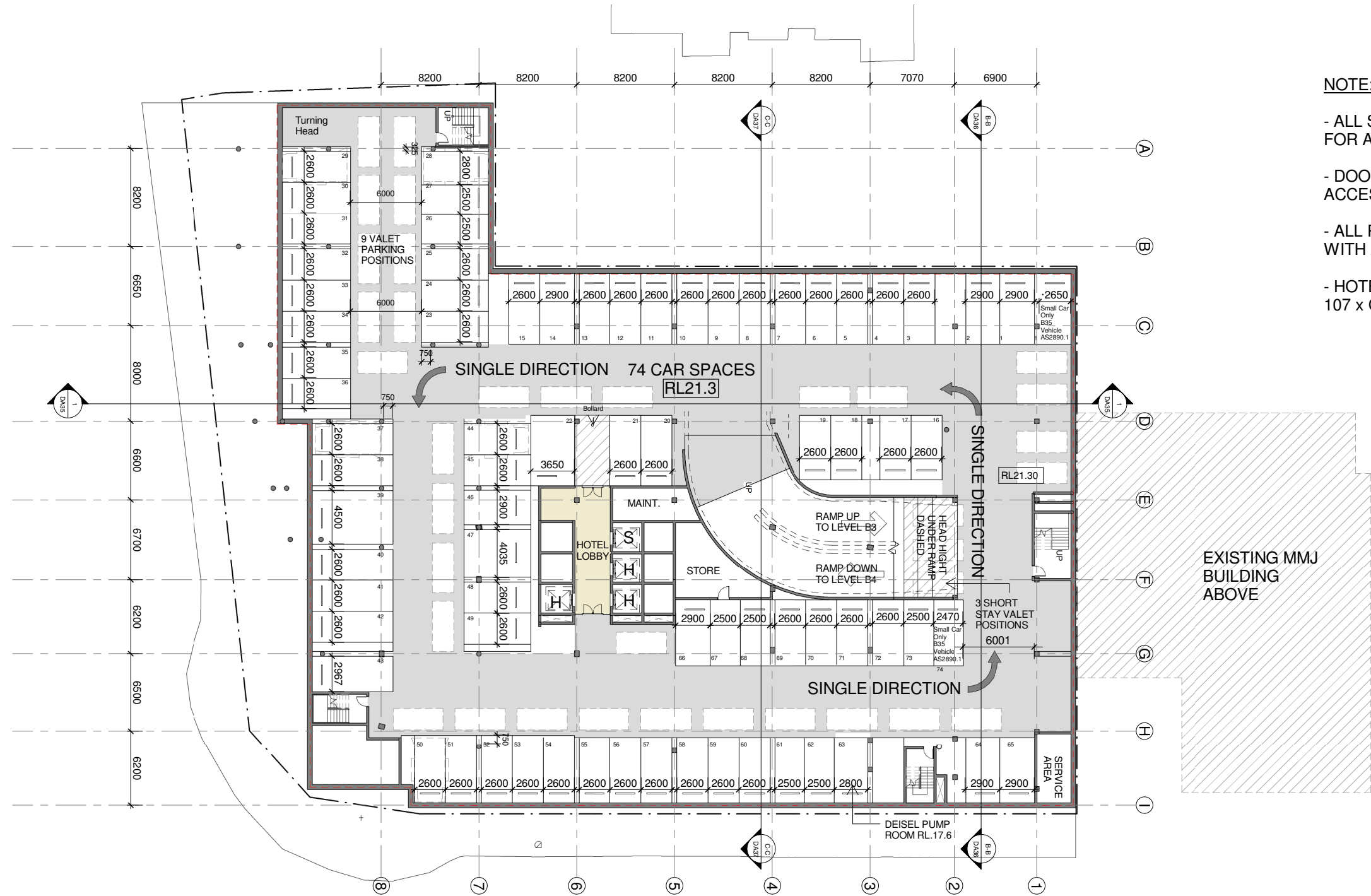




AMENDMENTS			
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A	DA ISSUE	22.11.30	DC/SH
M	DRP REVISION	01.07.14	SH/DC
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R	DA Amended Issue	30.10.14	SH/G W/RB
S	DRP Revision	10.04.15	BB

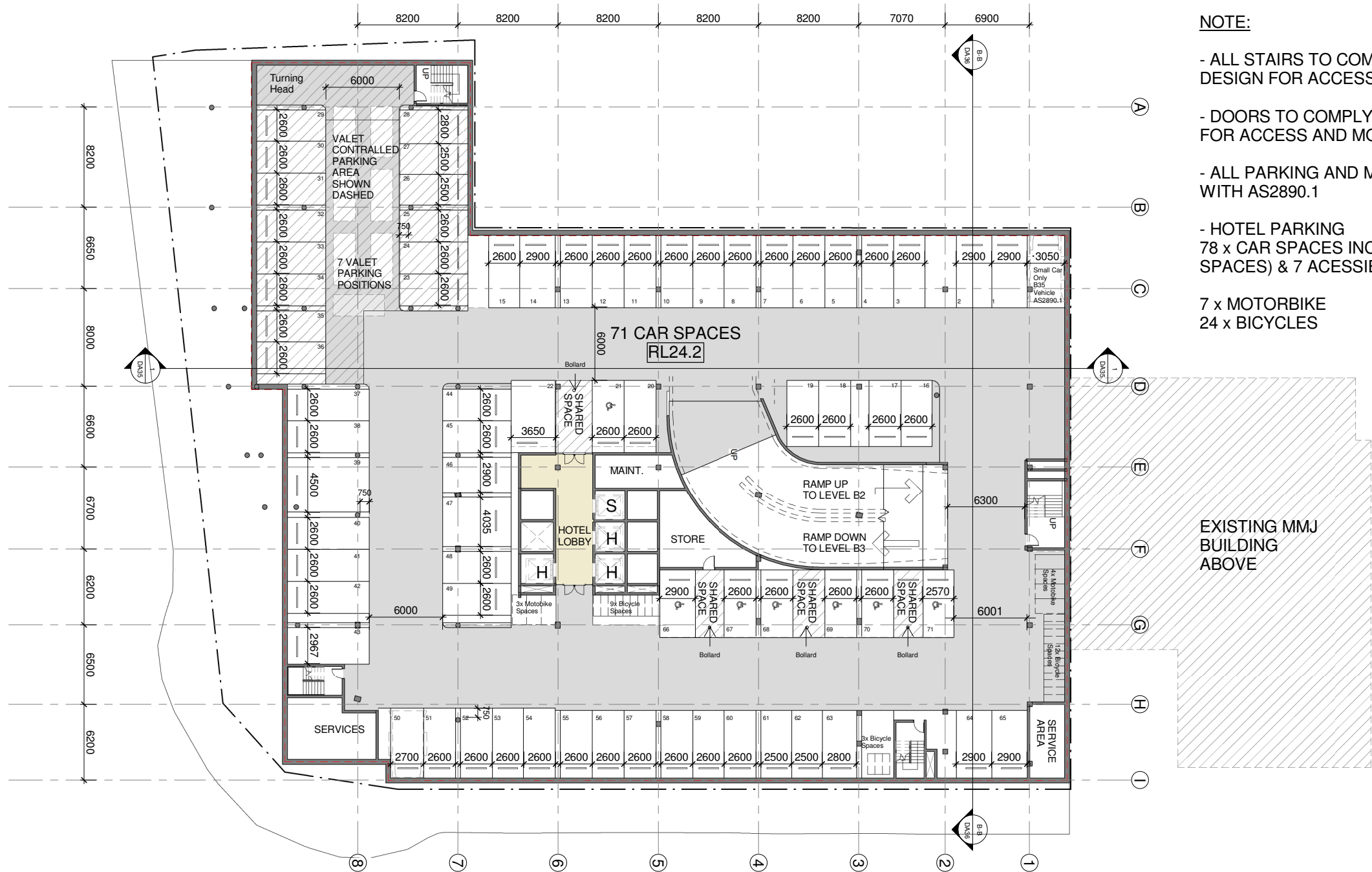
NOTE:

- ALL STAIRS TO COMPLY WITH AS1428.1 DESIGN FOR ACCESS AND MOBILITY
- DOORS TO COMPLY WITH AS1428.1 DESIGN FOR ACCESS AND MOBILITY
- ALL PARKING AND MANOUVREING COMPLIES WITH AS2890.1
- HOTEL PARKING
107 x CAR SPACES INCLUDING (33 VALET SPACES)





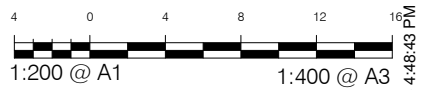
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- ALL PARKING AND MANOUVREING COMPLIES WITH AS2890.1
- HOTEL PARKING
78 x CAR SPACES INCLUDING (7 VALET SPACES) & 7 ACESSIBLE
- 7 x MOTORBIKE
24 x BICYCLES

EXISTING MMJ
BUILDING
ABOVE



MIXED USE PROJECT- REGENCY TOWER

REGENT ST, WOLLONGONG

BASEMENT 3 - COMMERCIAL / HOTEL CARPARK RL. 24.2

73 DESIGNATED CAR SPACES +
20 VALET SPACES

REGENT STREET DEVELOPMENTS P/L. 013-014

DA06-S



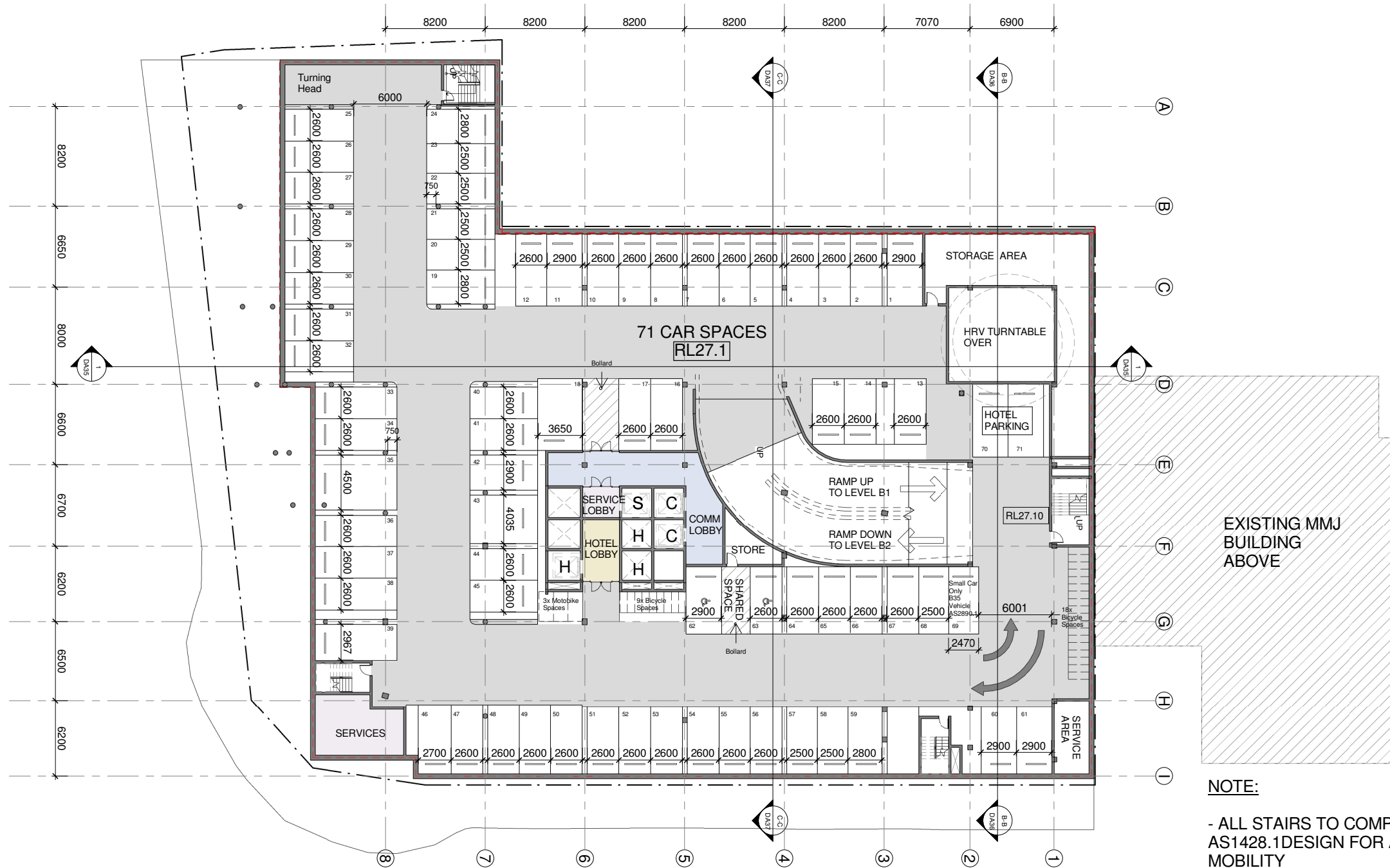
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EXISTING MMJ
BUILDING
ABOVE

NOTE:

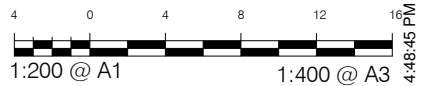
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- COMMERCIAL PARKING
71 x CAR SPACES INCLUDING 2 HOTEL SPACES & 2 ACCESSIBLE

3 x MOTORBIKES
27 x BICYCLES





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NOTE:

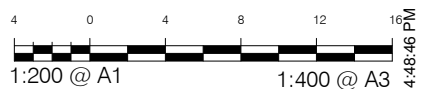
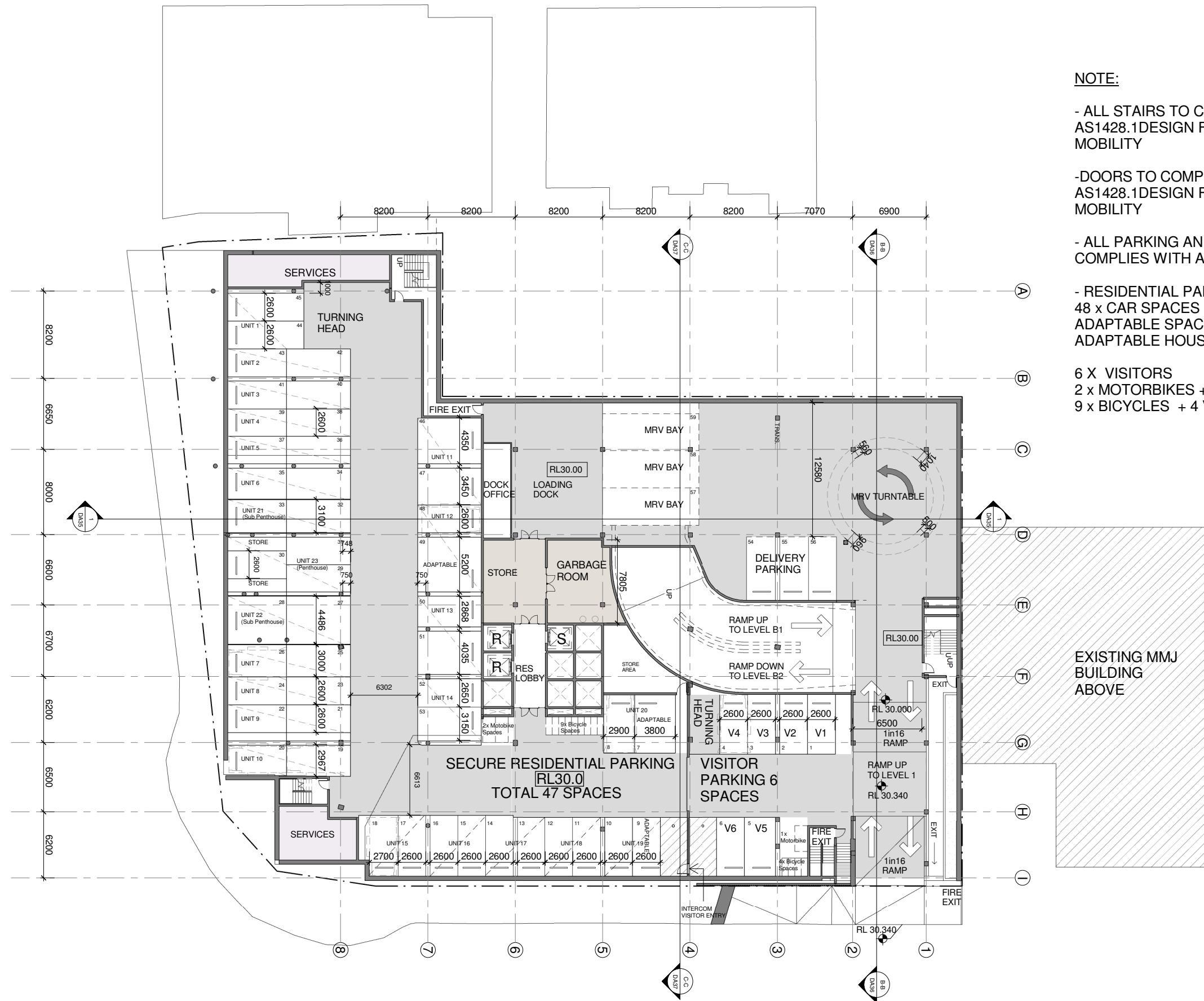
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- DOORS TO COMPLY WITH
AS1428.1 DESIGN FOR ACCESS AND
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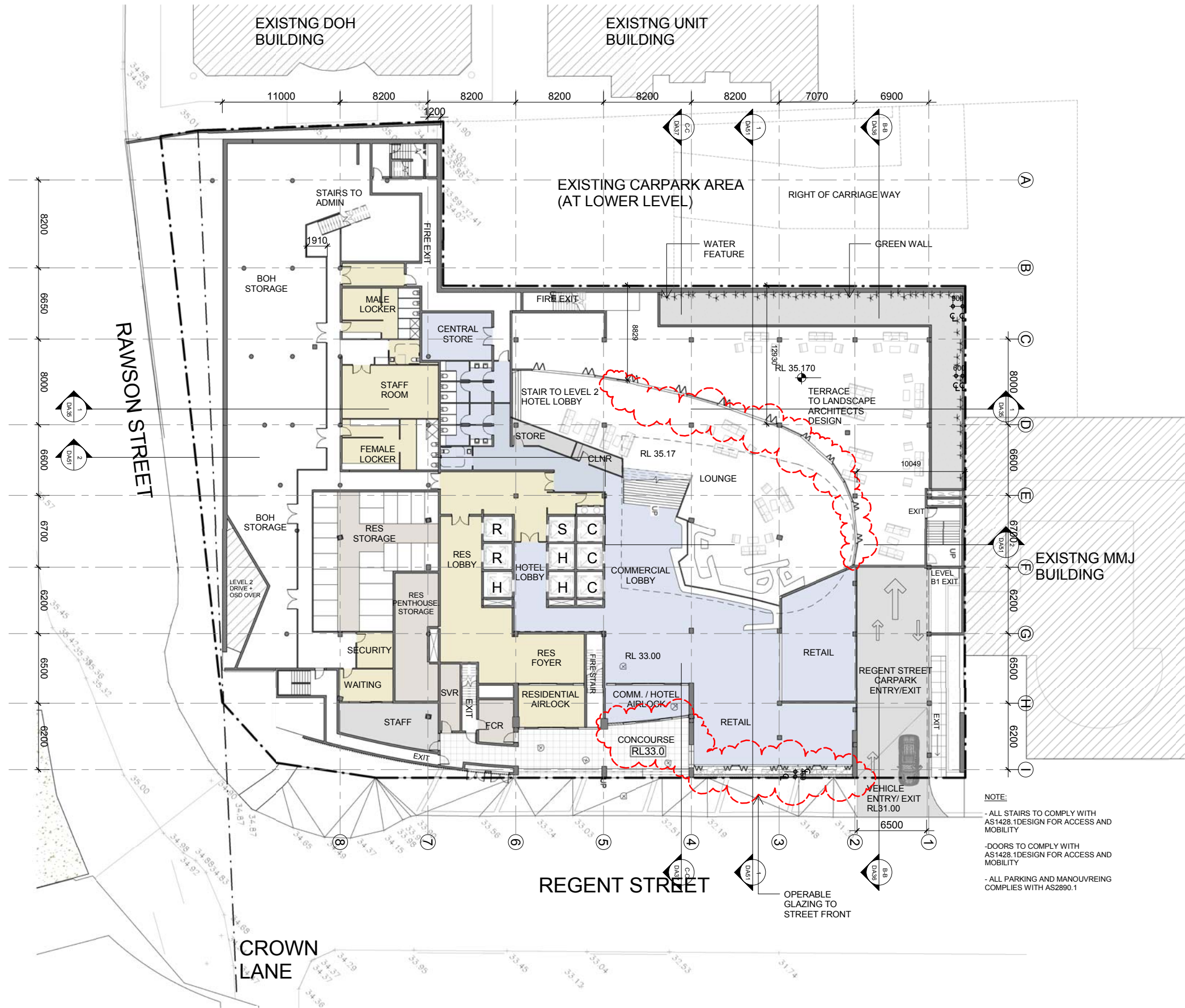
- ALL PARKING AND MANOUVREING
COMPLIES WITH AS2890.1

- RESIDENTIAL PARKING
48 x CAR SPACES INCLUDING 3
ADAPTABLE SPACES TO AS4299
ADAPTABLE HOUSING

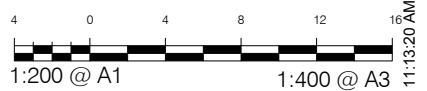
6 X VISITORS
2 x MOTORBIKES + 1 VISITOR
9 x BICYCLES + 4 VISITORS



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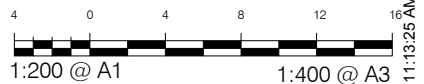
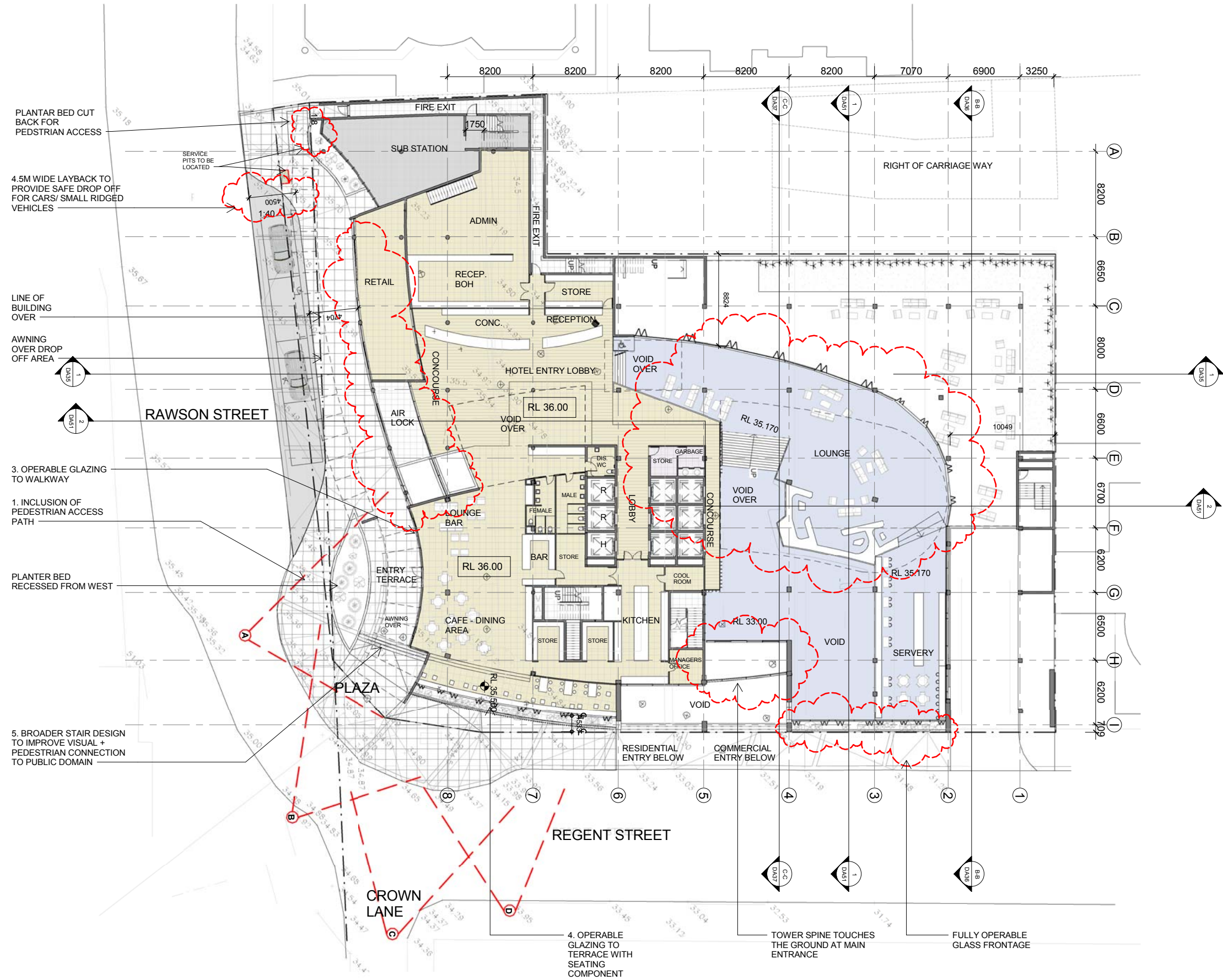
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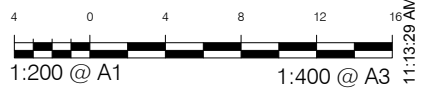


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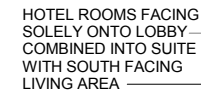


-DOORS TO COMPLY WITH AS1428.1
DESIGN FOR ACCESS AND MOBILITY



NOT FOR CONSTRUCTION

R	DA Amended Issue	30.10.14	SH,G W,RB
S	DRP Revision	10.04.15	BB
T	DRP Revision	04.06.15	SH

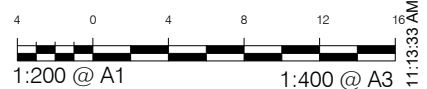


REGENT ST, WOLLONGONG

HOTEL/ COMMERCIAL- LEVEL 4- 23 ROOMS

REGENT STREET DEVELOPMENTS P/L. 013-014

DA17-T



15/07/2015 11:13:33 AM

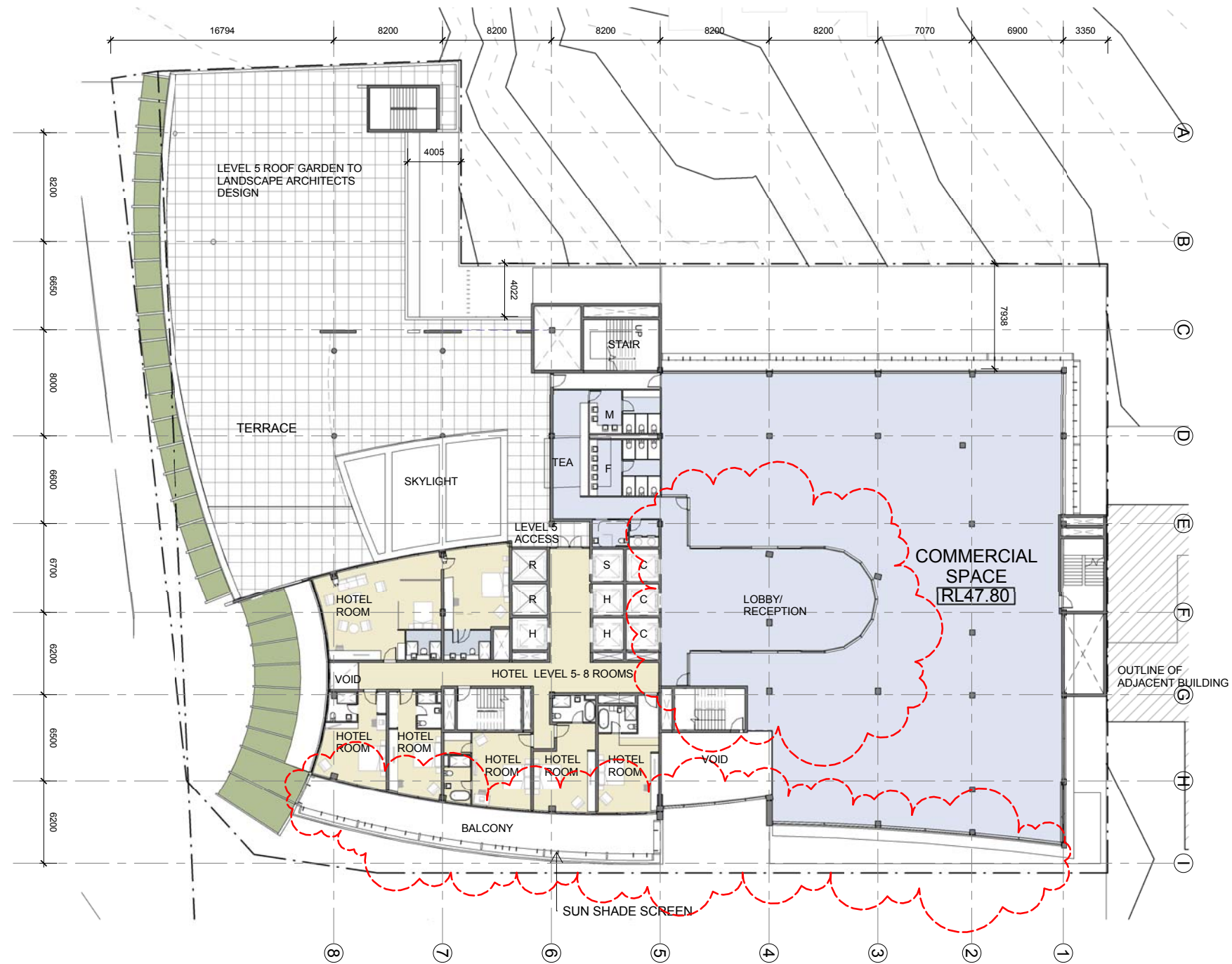


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R	DA Amended Issue	30.10.14	SH,G W,RB
S	DRP Revision	10.04.15	BB
T	DRP Revision	04.06.15	SH

NOTE:

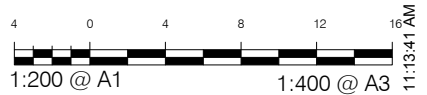
-STAIRS TO COMPLY WITH AS1428.1DESIGN FOR ACCESS AND MOBILITY

-DOORS TO COMPLY WITH AS1428.1 DESIGN FOR ACCESS AND MOBILITY





AMENDMENTS			
No	Revision Description	Date	BY
M	DRP REVISION	01.07.14	SH/DC
O	DA Amended Issue	13.08.14	SH
Q	WCC Review	29.10.14	SH,G W,RB
R	DA Amended Issue	30.10.14	SH,G W,RB
S	DRP Revision	10.04.15	BB
T	DRP Revision	04.06.15	SH



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AMENDMENTS	No	Revision Description	Date	BY:
A	DA ISSUE		22.11.20	DC/SH
M	DRP REVIEW		01.07.14	SH/DC
O	DA Amended Issue		13.08.14	SH
O	WCC Review		29.10.14	SH/G
R	DA Amended Issue		30.10.14	SH/G
S	DRP Revision		10.04.15	SH
T	DRP Revision		04.06.15	SH

NOTE:
 -STAIRS TO COMPLY WITH
 AS1428.1 DESIGN FOR ACCESS AND
 MOBILITY
 -DOORS TO COMPLY WITH AS1428.1
 DESIGN FOR ACCESS AND MOBILITY



MIXED USE PROJECT- REGENCY TOWER
 REGENT ST, WOLLONGONG

LEVEL 7- FUNCTION/ RESTAURANT

REGENT STREET DEVELOPMENTS P/L 013-014

DA22-T

PRD ARCHITECTS
 Level 2, 77 Market Street, Wollongong NSW 2500
 Phone 02 4226-0888 Facsimile 02 4226-1165
 Email info@prdarchitects.com

11/06/2015 4:19:48 PM

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AMENDMENTS	No	Revision Description	Date	BY
A	DA ISSUE		22.11.30	DC/SH
M	DWP REVISION		01.07.14	SH/DC
O	DA Amended Issue		13.08.14	SH
Q	WCC Review		29.10.14	SH/G
R	DA Amended Issue		30.10.14	SH/G
S	DSP Revision		10.04.15	SH
			04.06.15	SH

NOTE:
 - STAIRS TO COMPLY WITH
 AS1428.1 DESIGN FOR ACCESS AND
 MOBILITY
 - DOORS TO COMPLY WITH AS1428.1
 DESIGN FOR ACCESS AND MOBILITY



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AMENDMENTS

No	Revision Description	Date	BY
A	DA ISSUE	22.11.20	DC/SH
M	DMP REVISION	01.07.14	SH/DC
D	DA Amended Issue	13.06.14	SH
D	WCC Review	29.10.14	SH/G W/AB
R	DA Amended Issue	30.10.14	SH/G W/AB
S	DMP Revision	10.04.15	BB
NOTE		04.06.15	SH

STAIRS TO COMPLY WITH
 AS1428.1 DESIGN FOR ACCESS AND
 MOBILITY

DOORS TO COMPLY WITH AS1428.1
 DESIGN FOR ACCESS AND MOBILITY



MIXED USE PROJECT- REGENCY TOWER
 REGENT ST, WOLLONGONG

HOTEL LEVELS 9-14, 16 ROOMS / LEVEL- 96 TOTAL

REGENT STREET DEVELOPMENTS P/L 013-014

DA24-T



PRD ARCHITECTS
 Level 2, 77 Market Street, Wollongong NSW 2500
 Phone 02 4226-0888 Fax 02 4226-1165
 Email info@prdentech.com

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AMENDMENTS

No	Revision Description	Date	BY:
A	DA ISSUE	22.11.20	DC/SH
M	DSP REVISION	01.07.14	SH/DC
O	DA Amended Issue	13.08.14	SH
Q	WCC Review	29.10.14	SH/G W/AB
R	DA Amended Issue	30.10.14	SH/G W/AB
S	DSP Revision	10.04.15	BB
NOTE	Revision	04.06.15	SH

STAIRS TO COMPLY WITH
 AS1428.1 DESIGN FOR ACCESS AND
 MOBILITY

DOORS TO COMPLY WITH AS1428.1
 DESIGN FOR ACCESS AND MOBILITY



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AMENDMENTS

No	Revision Description	Date	BY:
A	DA ISSUE	22.11.20	DC/SH
M	DMP REVISION	01.07.14	SH/DC
O	DA Amended Issue	13.08.14	SH
Q	WCC Review	29.10.14	SH/G W/AB
R	DA Amended Issue	30.10.14	SH/G W/AB
S	DMP Revision	10.04.15	BB
NOTE		04.06.15	SH

STAIRS TO COMPLY WITH
 AS1428.1 DESIGN FOR ACCESS AND
 MOBILITY
 DOORS TO COMPLY WITH AS1428.1
 DESIGN FOR ACCESS AND MOBILITY



MIXED USE PROJECT- REGENCY TOWER
 REGENT ST, WOLLONGONG

RESIDENTIAL LEVELS 18-22

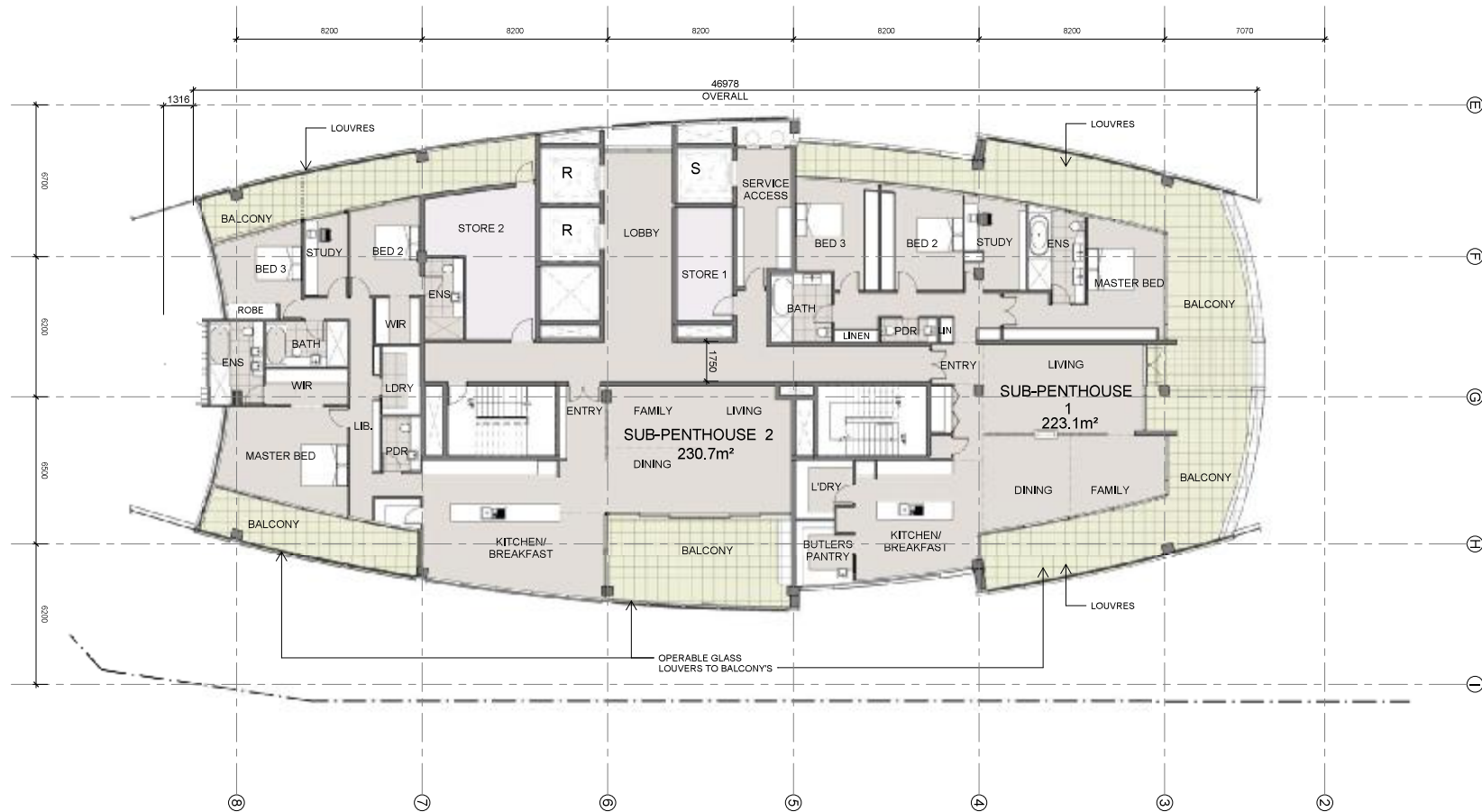
REGENT STREET DEVELOPMENTS P/L 013-014

DA26-T



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AMENDMENTS			
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O	DA Amended Issue	13.08.14	SH
P	DA Additional Height Info Requested WCC	07.10.14	SH
R	DA Amended Issue	30.10.14	SH/DC
S	DRP Revision	10.04.15	BB

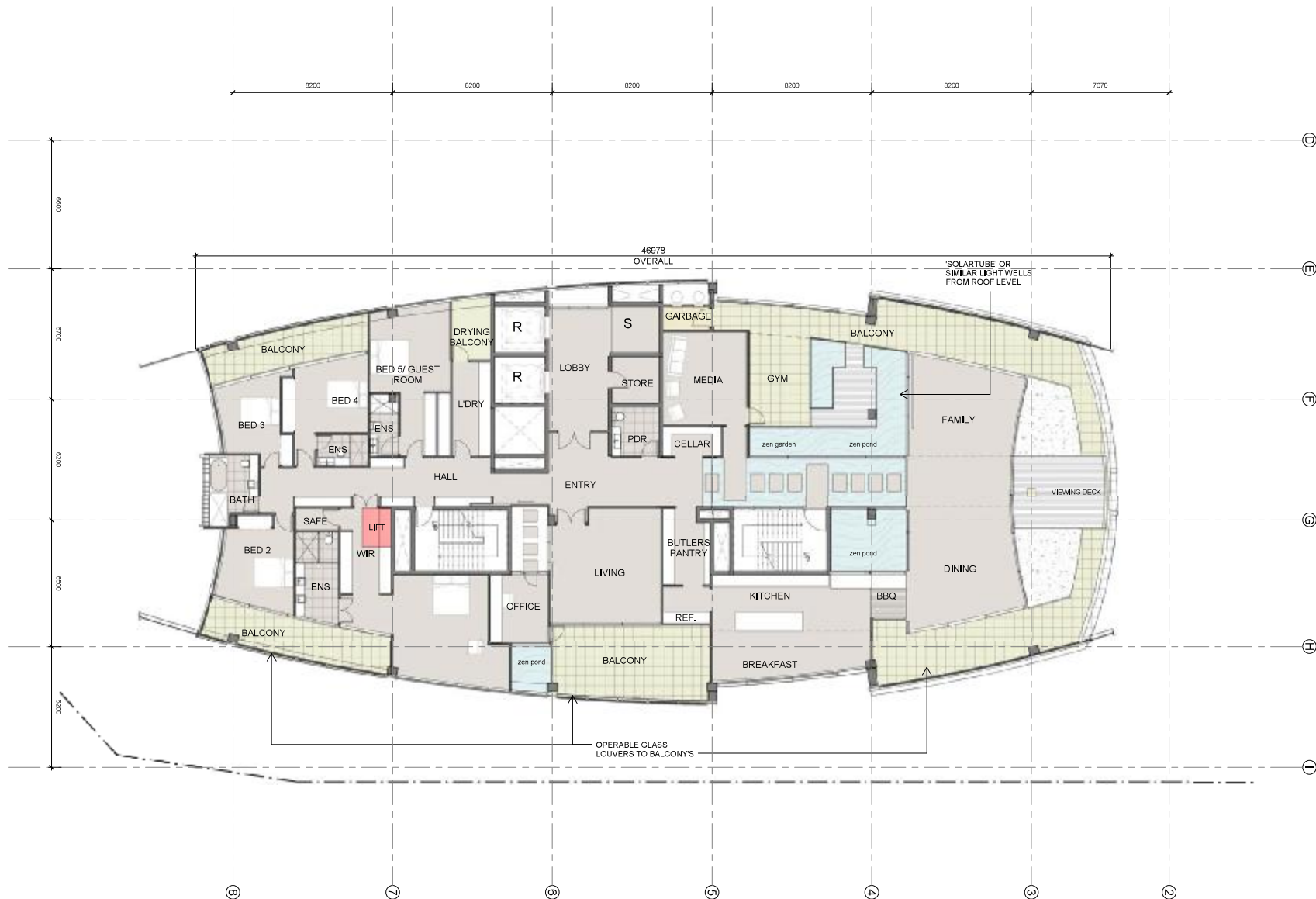


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AMENDMENTS

No	Revision Description	Date	BY:
A	DA ISSUE	22.11.20	DC/SH
M	DRP REVISION	01.07.14	SH/DC
O	DA Amended Issue	13.06.14	SH
R	DA Amended Issue	30.10.14	SH/G
S	DRP Revision	10.04.15	BB



MIXED USE PROJECT- REGENCY TOWER
 REGENT ST, WOLLONGONG

PENTHOUSE

REGENT STREET DEVELOPMENTS P/L 013-014

DA29-S



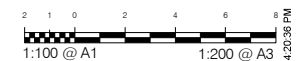
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AMENDMENTS

No	Revision Description	Date	BY:
A	DA ISSUE	22.11.20	DC/SH
M	DRP REVISION	01.07.14	SH/DC
O	DA Amended Issue	13.08.14	SH
Q	WCC Review	29.10.14	SH/G W/AB
R	DA Amended Issue	30.10.14	SH/G W/AB
S	DRP Revision	10.04.15	BB
T	DRP Revision	04.06.15	SH



MIXED USE PROJECT- REGENCY TOWER
 REGENT ST, WOLLONGONG

ROOF

REGENT STREET DEVELOPMENTS P/L 013-014

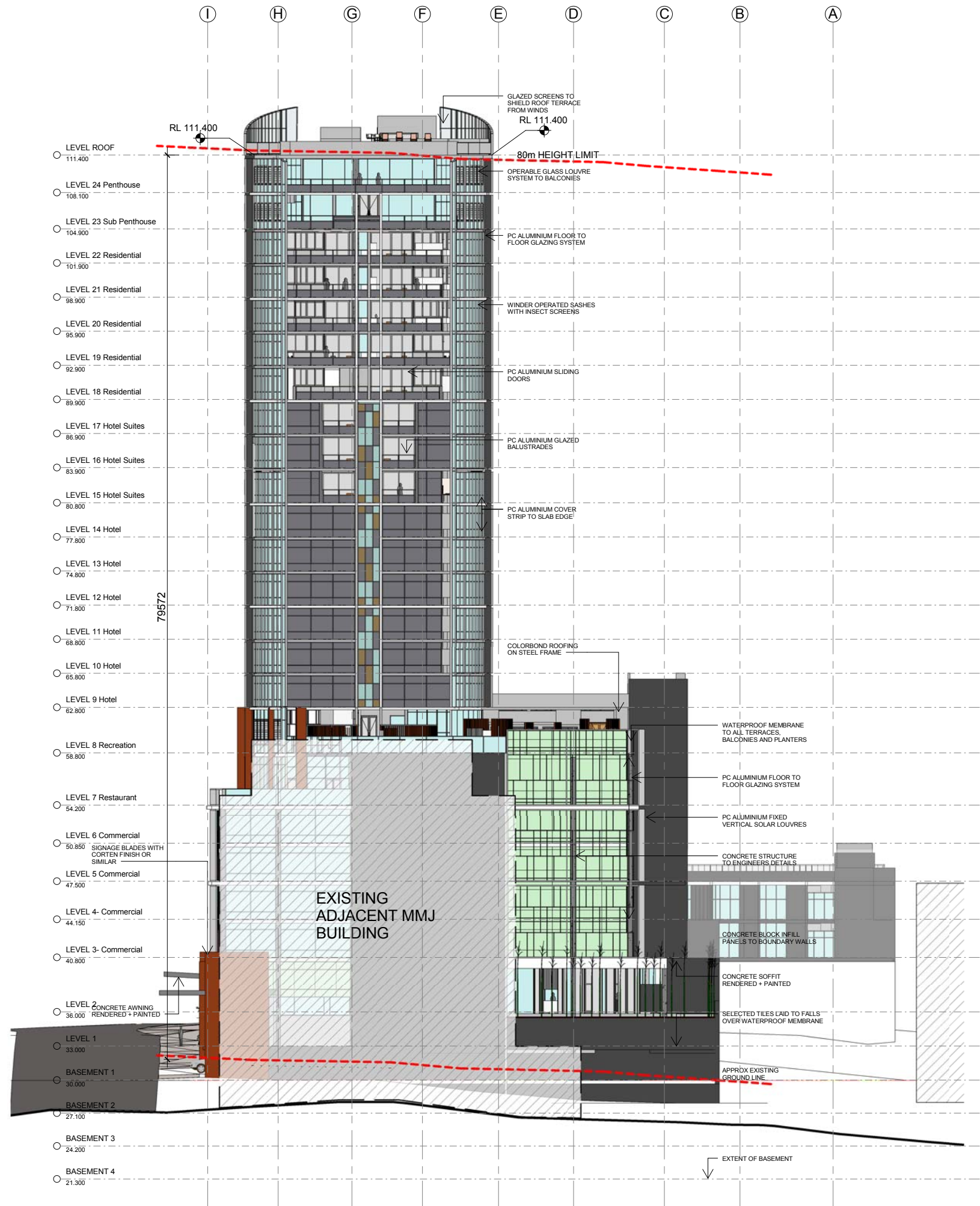
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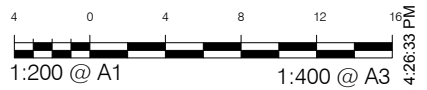
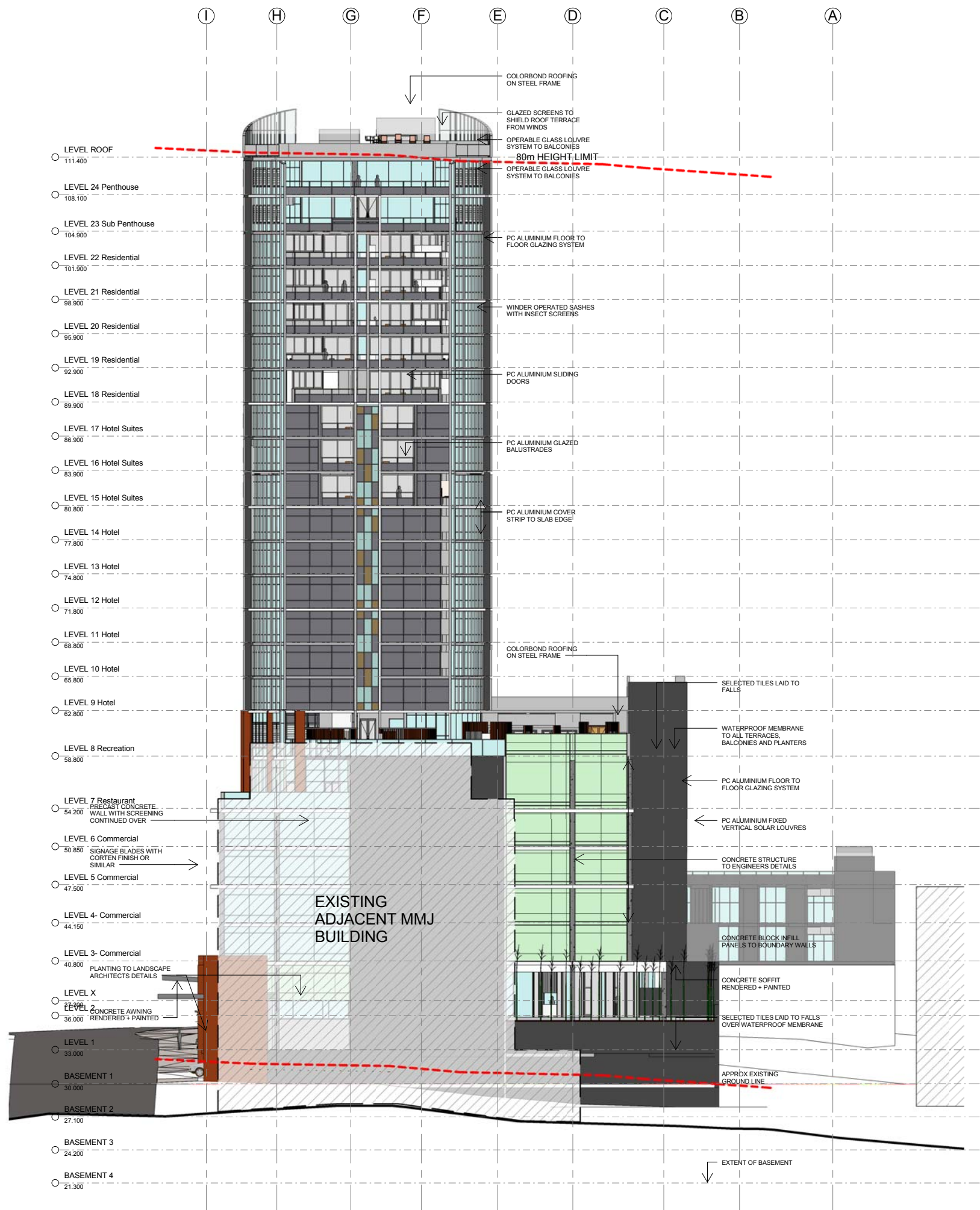
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FOR DA APPROVAL

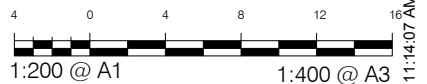
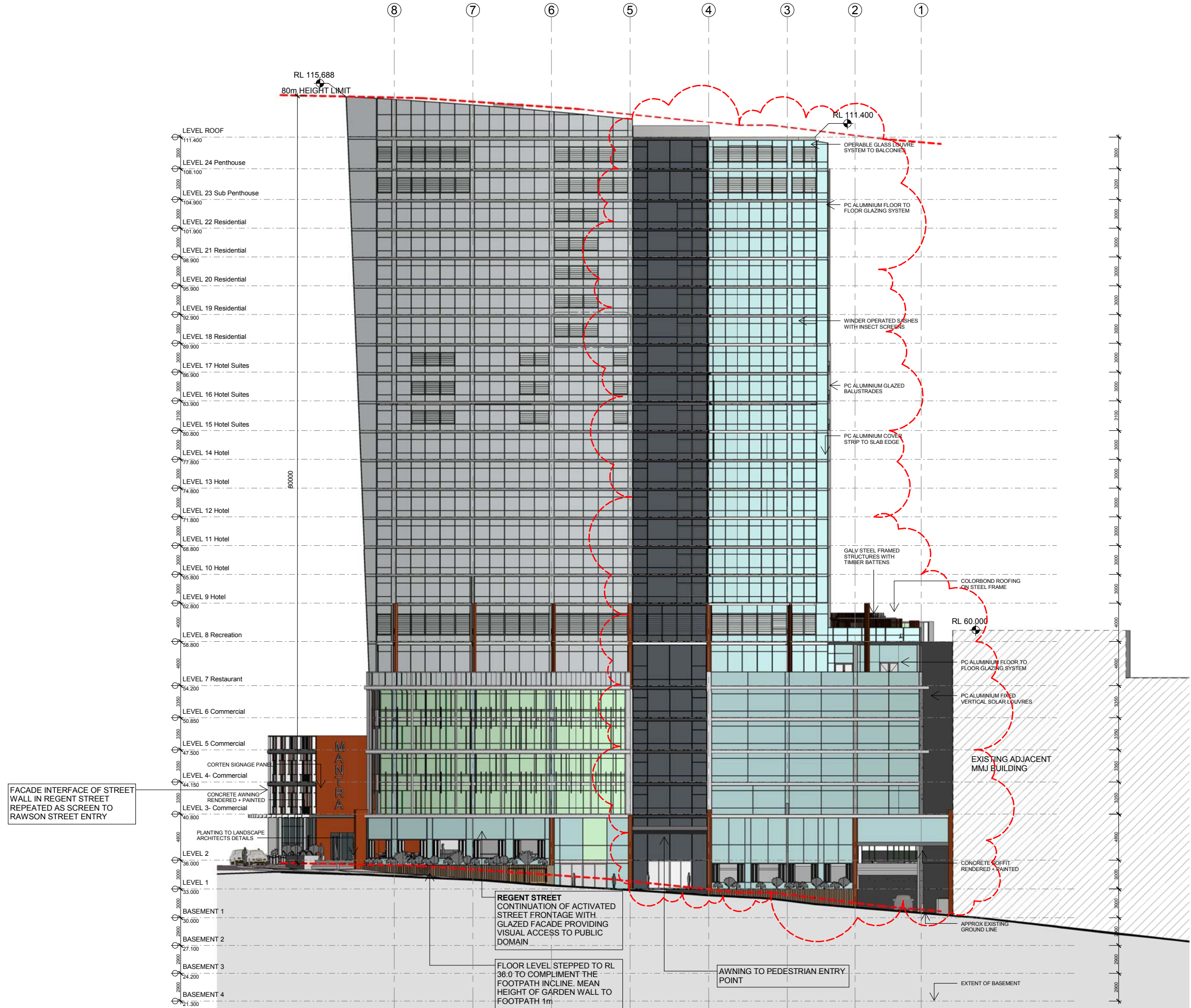
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M	DRP REVISION	01.07.14	SH/DC
O	DA Amended Issue	13.08.14	SH
P	DA Additional Height Info Requested WCC	07.10.14	SH
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R	DA Amended Issue	30.10.14	SH,G W,RB
S	DRP Revision	10.04.15	BB
T	DRP Revision	04.06.15	SH



AMENDMENTS			
No	Revision Description	Date	BY
A	DA ISSUE	22.11.20	DC/SH
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O	DA Amended Issue	13.08.14	SH
P	DA Additional Height Info Requested WCC	07.10.14	SH
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S	DRP Revision	10.04.15	BB
T	DRP Revision	04.06.15	SH



AMENDMENTS			
No	Revision Description	Date	BY
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P	DA Additional Height Info Requested WCC	07.10.14	SH
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R	DA Amended Issue	30.10.14	SH,G W,RB
S	DRP Revision	10.04.15	BB
T	DRP Revision	04.06.15	SH



MIXED USE PROJECT- REGENCY TOWER

REGENT ST, WOLLONGONG

EAST- ALTERNATIVE H

REGENT STREET DEVELOPMENTS P/L. 013-014

DA32-T

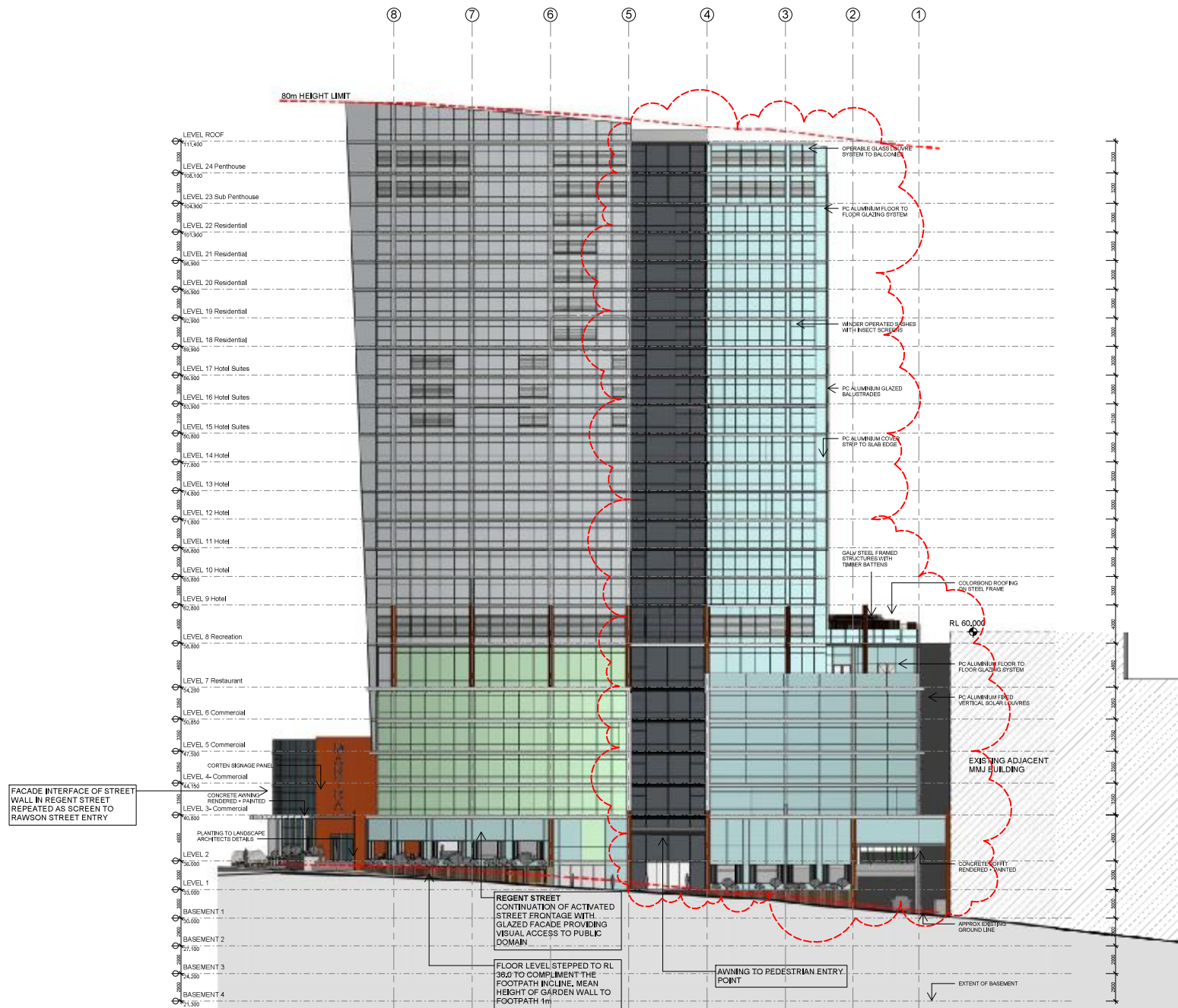
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No	Revision Description	Date	BY:
A	DA ISSUE	22.11.20	DC/SH
M	DRP REVISION	01.07.14	SH/DC
O	DA Amended Issue	13.08.14	SH
P	DA Additional Info Requested WCC	07.10.14	SH
Q	WCC Review	29.10.14	SH/G
R	DA Amended Issue	30.10.14	SH/G
S	DRP Revision	10.04.15	BB
T	DRP Revision	04.06.15	SH



MIXED USE PROJECT- REGENCY TOWER
 REGENT ST, WOLLONGONG

EAST- ALTERNATIVE I

REGENT STREET DEVELOPMENTS P/L 013-014

DA32-T

PRD ARCHITECTS
 Level 2, 72 Market Street, Wollongong NSW 2500
 Phone 02 4225-0881 Fax 02 4225-1143
 Email info@prdartists.com.au

11/06/2015 4:26:54 PM

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AMENDMENTS

R DA Amended Issue	30.10.14	SH,G
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DA33-T



Level 2, 73 Market Street, Wollongong NSW 2500
Phone:(02) 4228-3699 Facsimile:(02) 4229-1145
Email: office@ordarchitects.com

15/07/2015 11:14:21 AM⁶

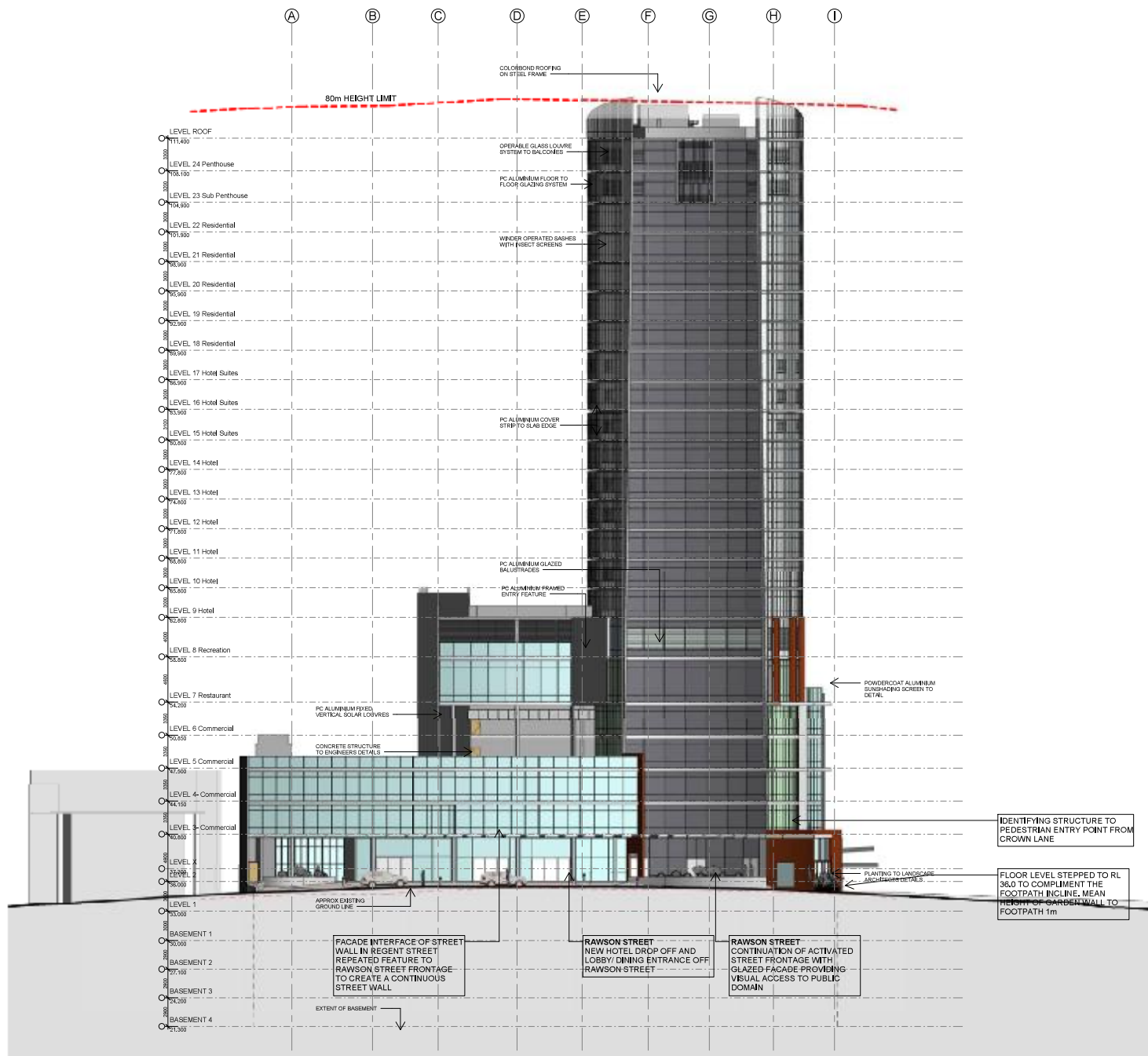
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AMENDMENTS

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O	DA Amended Issue	13.08.14	SH
P	DA Additional Height Info Requested WCC	07.10.14	SH
Q	WCC Review	29.10.14	SH/G
R	DA Amended Issue	30.10.14	SH/G
S	DRP Revision	10.04.15	BB
T	DRP Revision	04.06.15	SH



MIXED USE PROJECT- REGENCY TOWER
 REGENT ST, WOLLONGONG

SOUTH- ALTERNATIVE I

REGENT STREET DEVELOPMENTS P/L 013-014

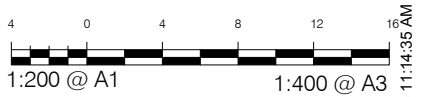
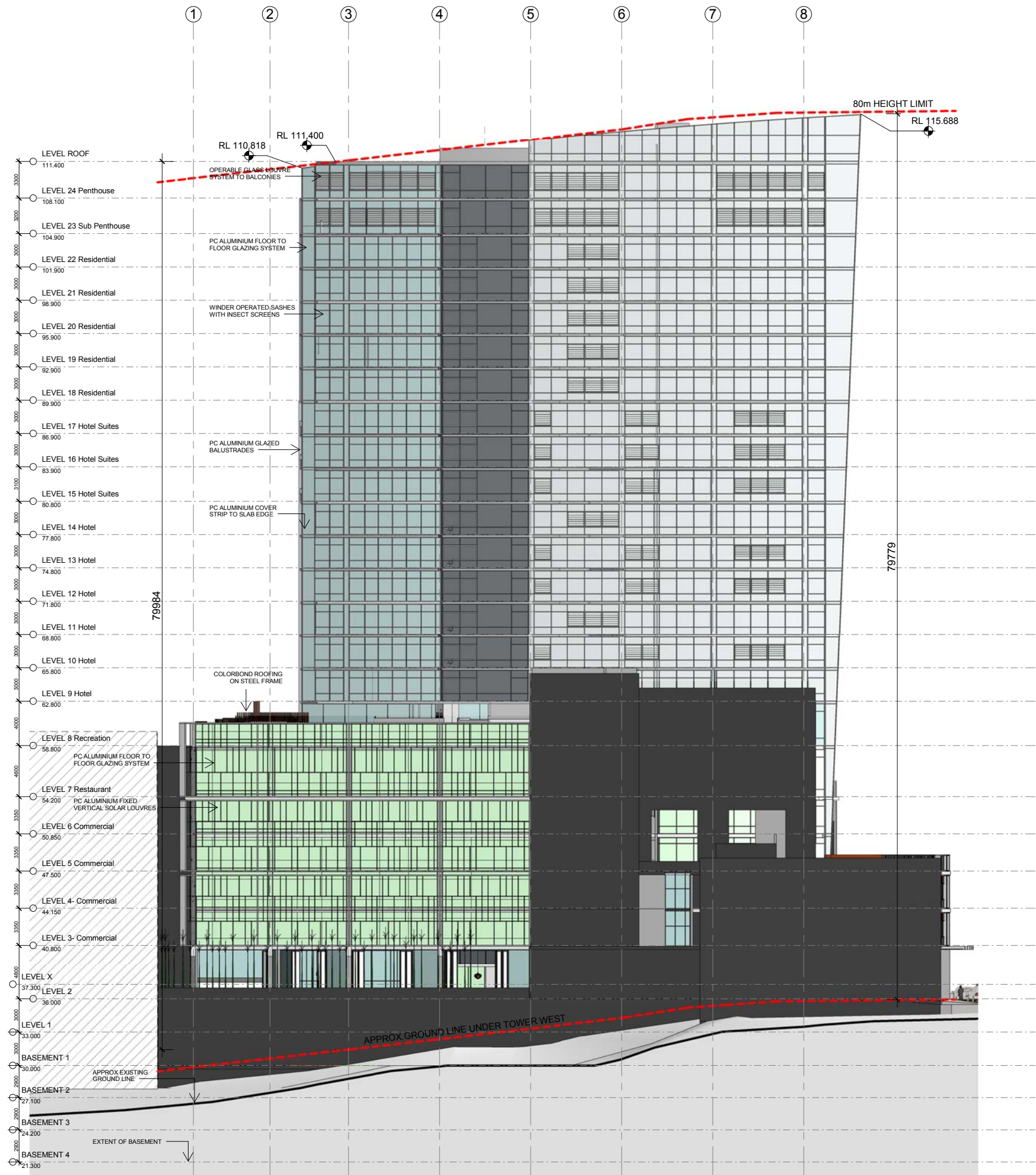
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FOR DA APPROVAL

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O	DA Amended Issue	13.08.14	SH
P	DA Additional Height Info Requested WCC	07.10.14	SH
Q	WCC Review	29.10.14	SH,G W,RB
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S	DRP Revision	10.04.15	BB
T	DRP Revision	04.06.15	SH



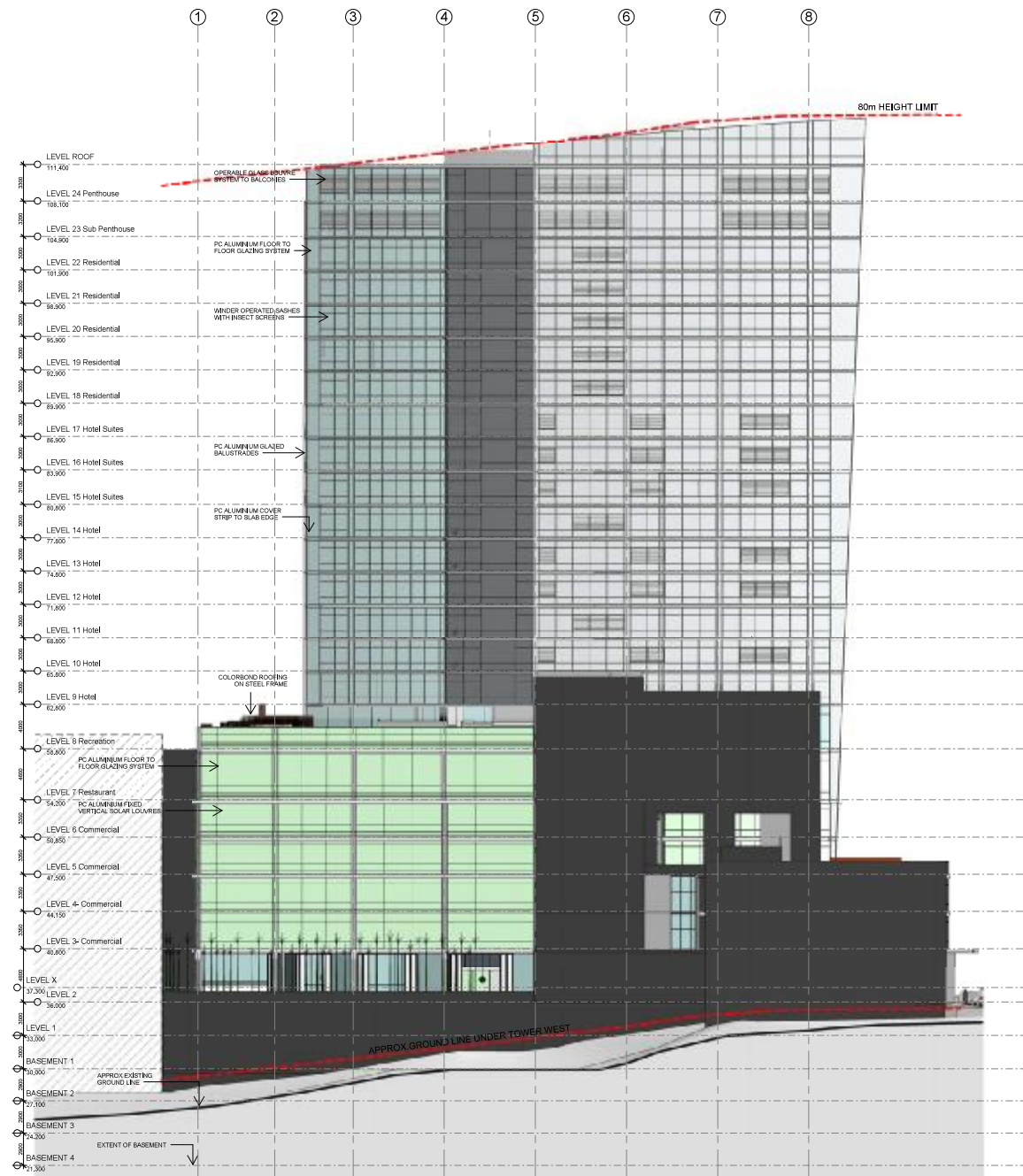
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AMENDMENTS

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A	DA ISSUE	22.11.20	DC/SH
M	DRP REVISION	01.07.14	SH/DC
O	DA Amended Issue	13.08.14	SH
P	DA Additional Height Info Requested WCC	07.10.14	SH
Q	WCC Review	29.10.14	SH/G W/SB
R	DA Amended Issue	30.10.14	SH/G W/SB
S	DRP Revision	10.04.15	BB
T	DRP Revision	04.06.15	SH



MIXED USE PROJECT- REGENCY TOWER
 REGENT ST, WOLLONGONG

WEST- ALTERNATIVE I

REGENT STREET DEVELOPMENTS P/L 013-014

DA34-T

PRD ARCHITECTS
 Level 2, 72 Market Street, Wollongong NSW 2500
 Phone 02 4226-0881 Fax 02 4226-1145
 Email info@prdarchitects.com

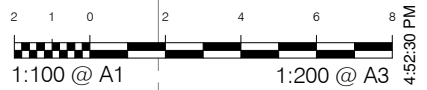
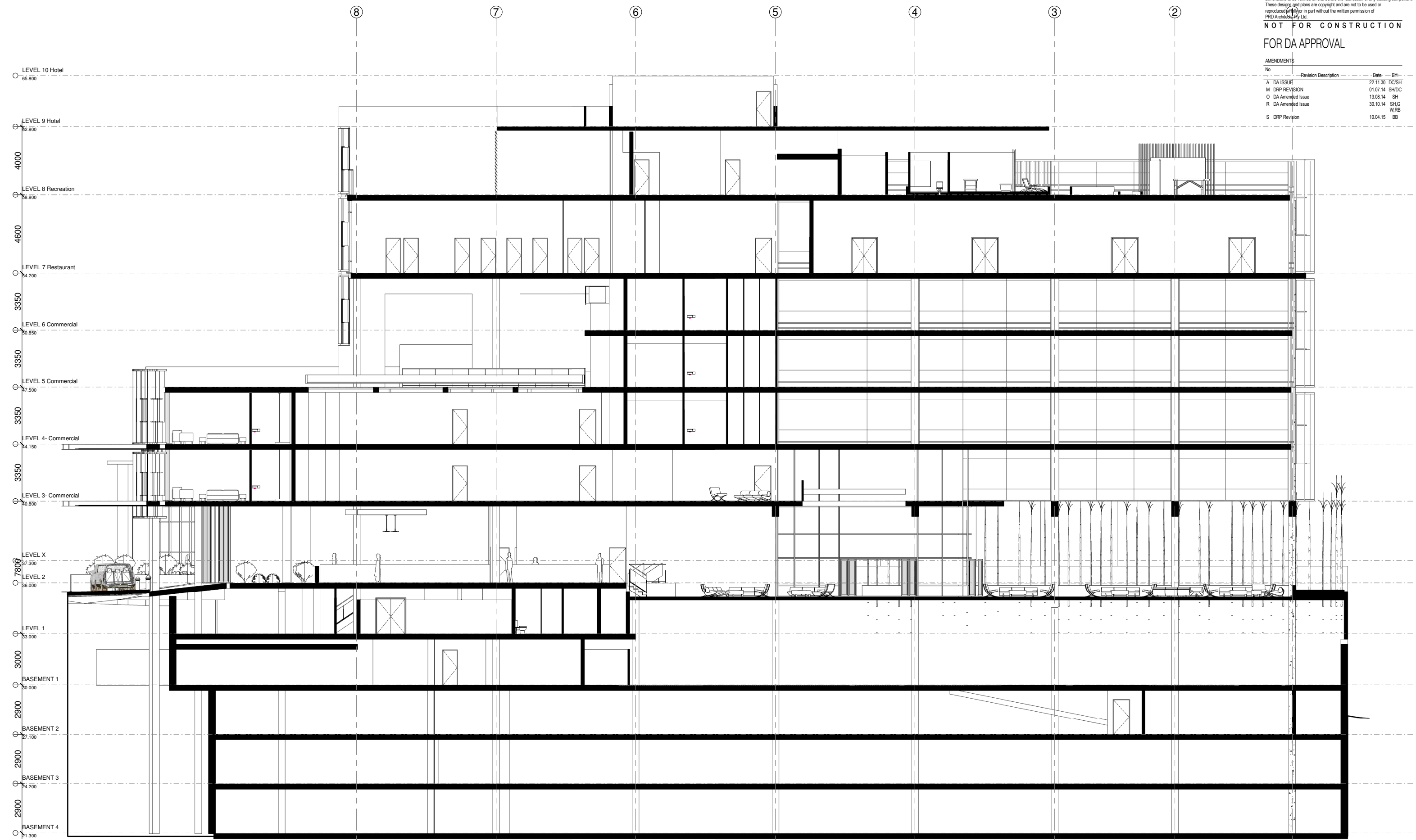
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AMENDMENTS			
No	Revision Description	Date	BY
A	DA ISSUE	22.11.20	DC/SH
M	DRP REVISION	01.07.14	SH/DC
O	DA Amended Issue	13.08.14	SH
R	DA Amended Issue	30.10.14	SH/G W/RB
S	DRP Revision	10.04.15	BB



MIXED USE PROJECT- REGENCY TOWER
REGENT ST, WOLLONGONG

SECTION A-A

REGENT STREET DEVELOPMENTS P/L. 013-014

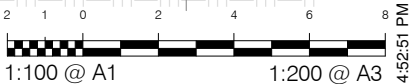
DA35-S

PRD ARCHITECTS
Level 2, 73 Market Street, Wollongong NSW 2500
Phone: (02) 4228-3699 Facsimile: (02) 4229-1145
Email: office@prdarchitects.com

17/04/2015 4:52:30 PM

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AMENDMENTS			
No	Revision Description	Date	BY:
A	DA ISSUE	22.11.30	DC/SH
M	DRP REVISION	01.07.14	SH/DC
O	DA Amended Issue	13.08.14	SH
R	DA Amended Issue	30.10.14	SH/G
			W/RB
S	DRP Revision	10.04.15	BB



PRD ARCHITECTS

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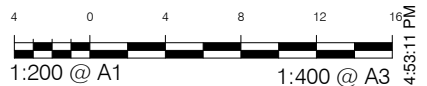
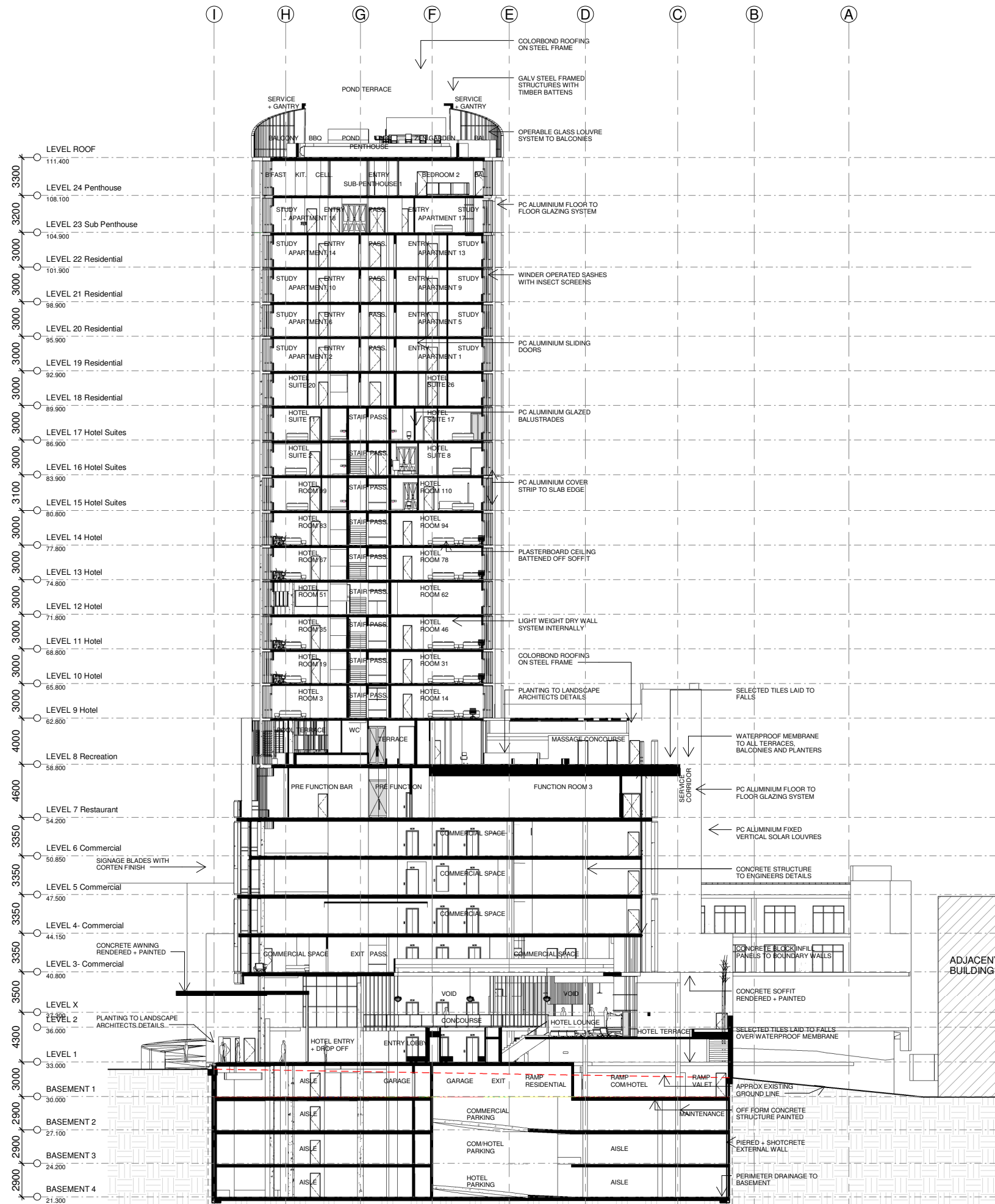
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AMENDMENTS

No	Revision Description	Date	BY
A	DA ISSUE	22.11.30	DC/SH
M	DRP REVISION	01.07.14	SH/DC
O	DA Amended Issue	13.08.14	SH
R	DA Amended Issue	30.10.14	SH/G W/RB
S	DRP Revision	10.04.15	BB



MIXED USE PROJECT- REGENCY TOWER

SECTION C-C

REGENT ST, WOLLONGONG

REGENT STREET DEVELOPMENTS P/L. 013-014

DA37-S



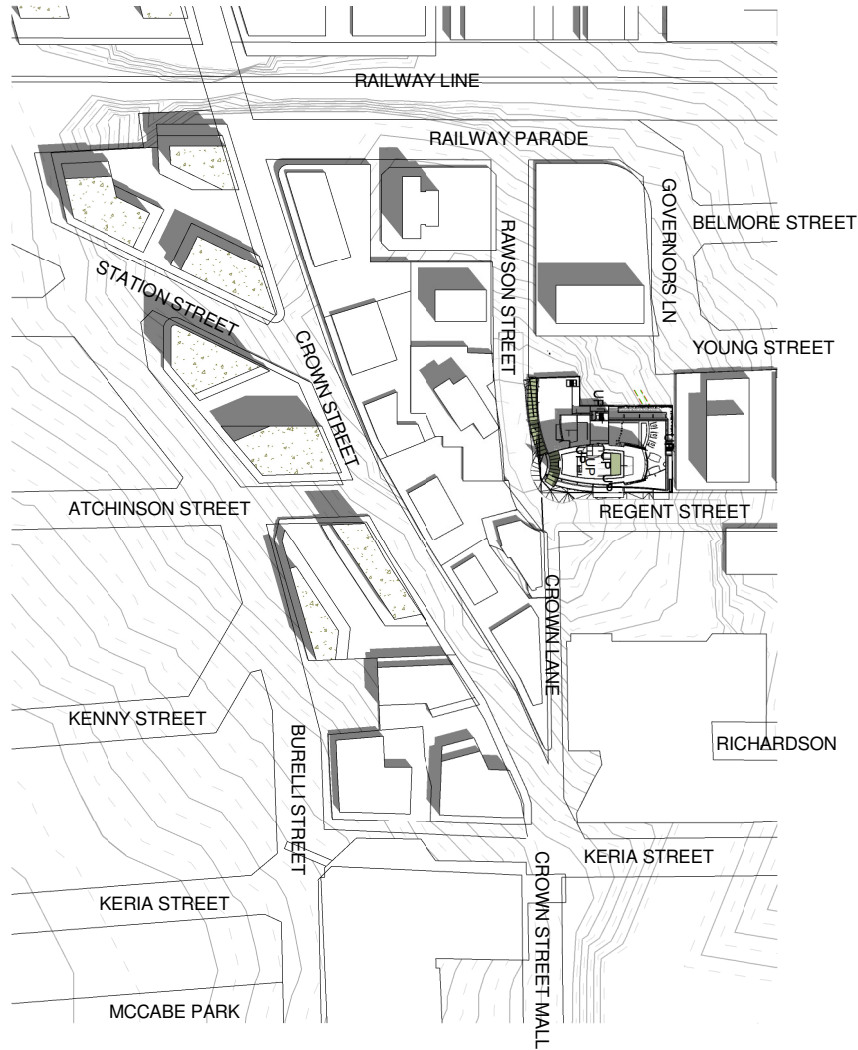
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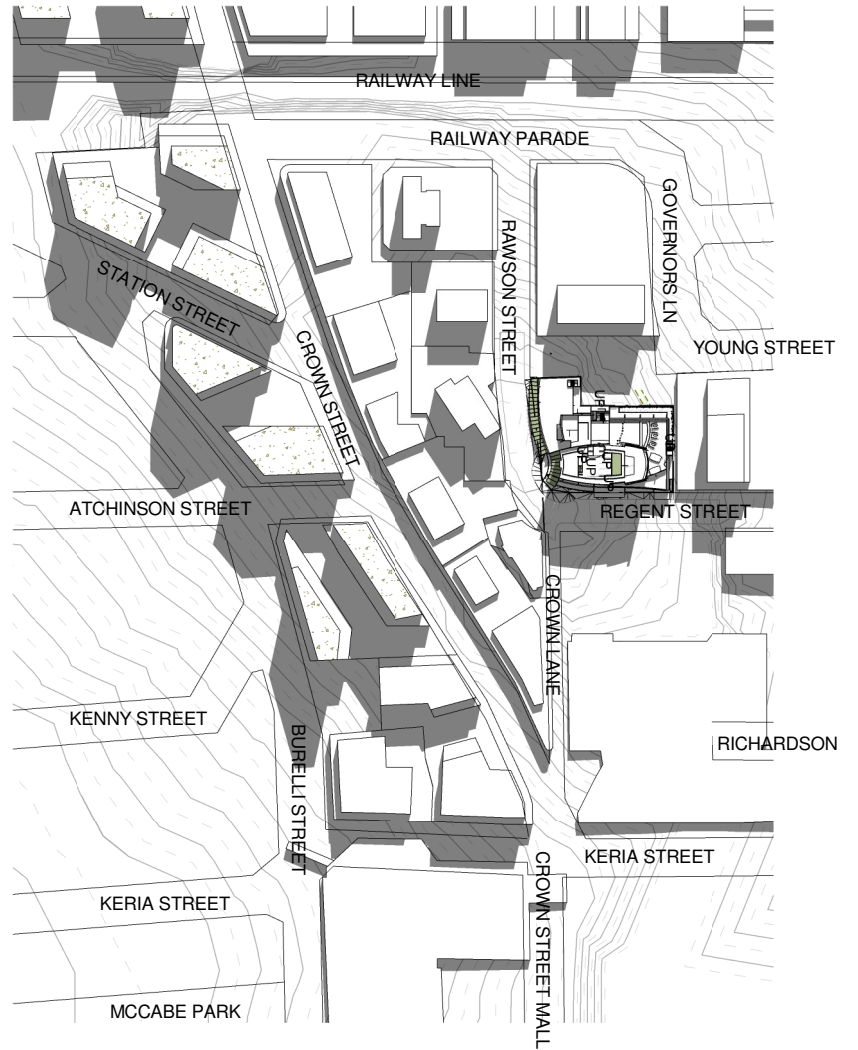
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A	DA ISSUE	22.11.30	DC/SH
M	DRP REVISION	01.07.14	SH/DC
O	DA Amended Issue	13.08.14	SH
R	DA Amended Issue	30.10.14	SH/G W/RB
S	DRP Revision	10.04.15	BB



SHADOW DIAGRAM Dec 21st
9 am



SHADOW DIAGRAM Dec 21st
12 noon



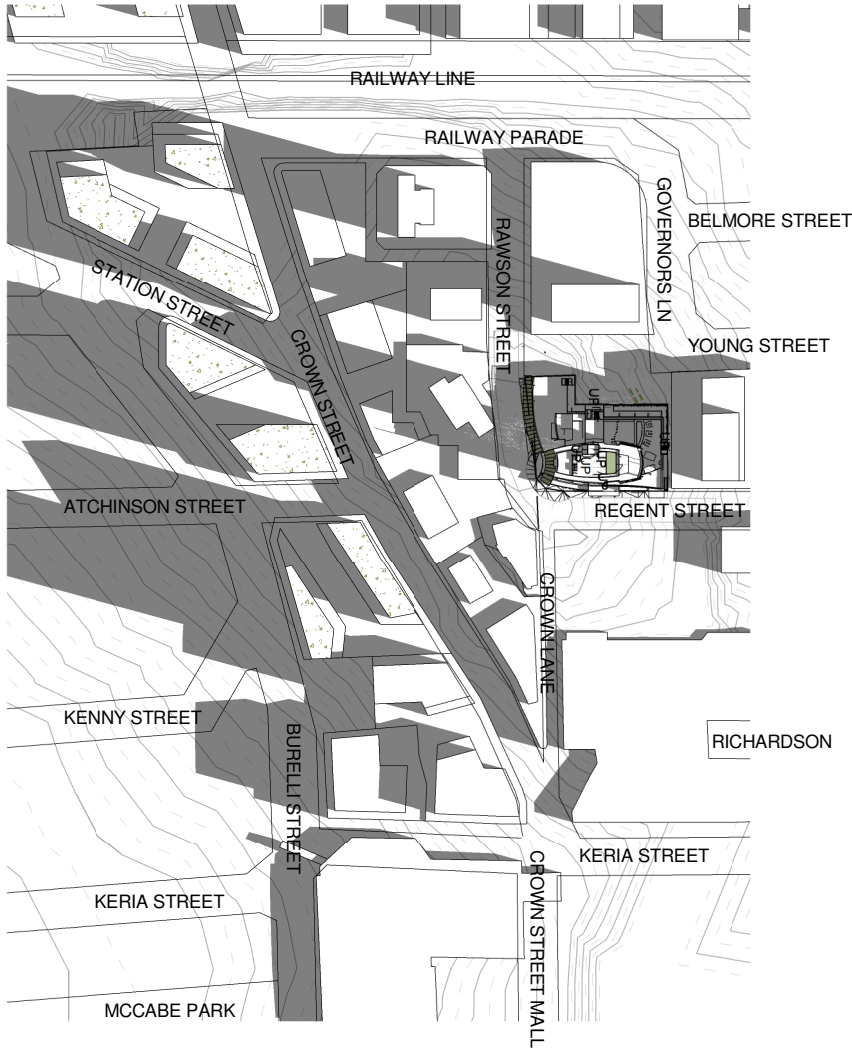
SHADOW DIAGRAM Dec 21st
3pm



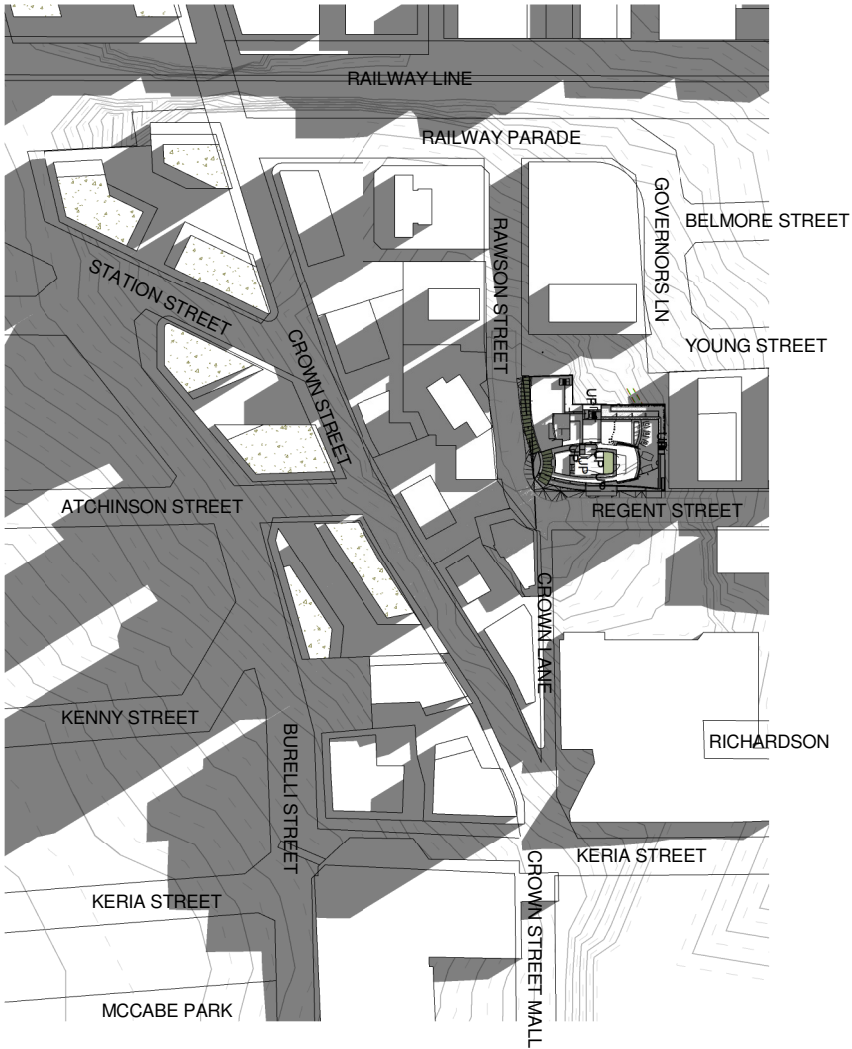
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O	DA Amended Issue	13.08.14	SH
R	DA Amended Issue	30.10.14	SH/G W/RB
S	DRP Revision	10.04.15	BB



SHADOW DIAGRAM June 21st
9 am



SHADOW DIAGRAM June 21st
12 noon



SHADOW DIAGRAM June 21st
3 pm



GREY TINTED LOW-E GLASS
TO TOWER FACADE



LIGHT GREEN TINTED GLAZING
TO TOWER COMMERCIAL LEVELS
BEHIND SUN SHADING SCREEN



CORTEN STEEL FEATURE
PANELS



CHARCOAL GREY RENDER



ALUMINIUM MULLIONS



PRECAST CONCRETE PANELS



WHITE RENDER TO CONCRETE
SOFFIT



GLASS LOUVRES TO MATCH
TOWER GLAZING TO BALCONIES



GLAZED BALUSTRADES AS
INDINCATED



SANDSTONE TILE FINISH OR
SIMILAR TO PLANTER BEDS
AND RETAINING WALLS



TIMBER DECKING TO POOL
AREA'S AND TERRACES



LARGE FORMAT STONE TILES
OR SIMILAR TO PUBLIC ENTRIES

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FOR DA APPROVAL

AMENDMENTS

No	Revision Description	Date	BY
1	DRP Revision	04.06.15	SH

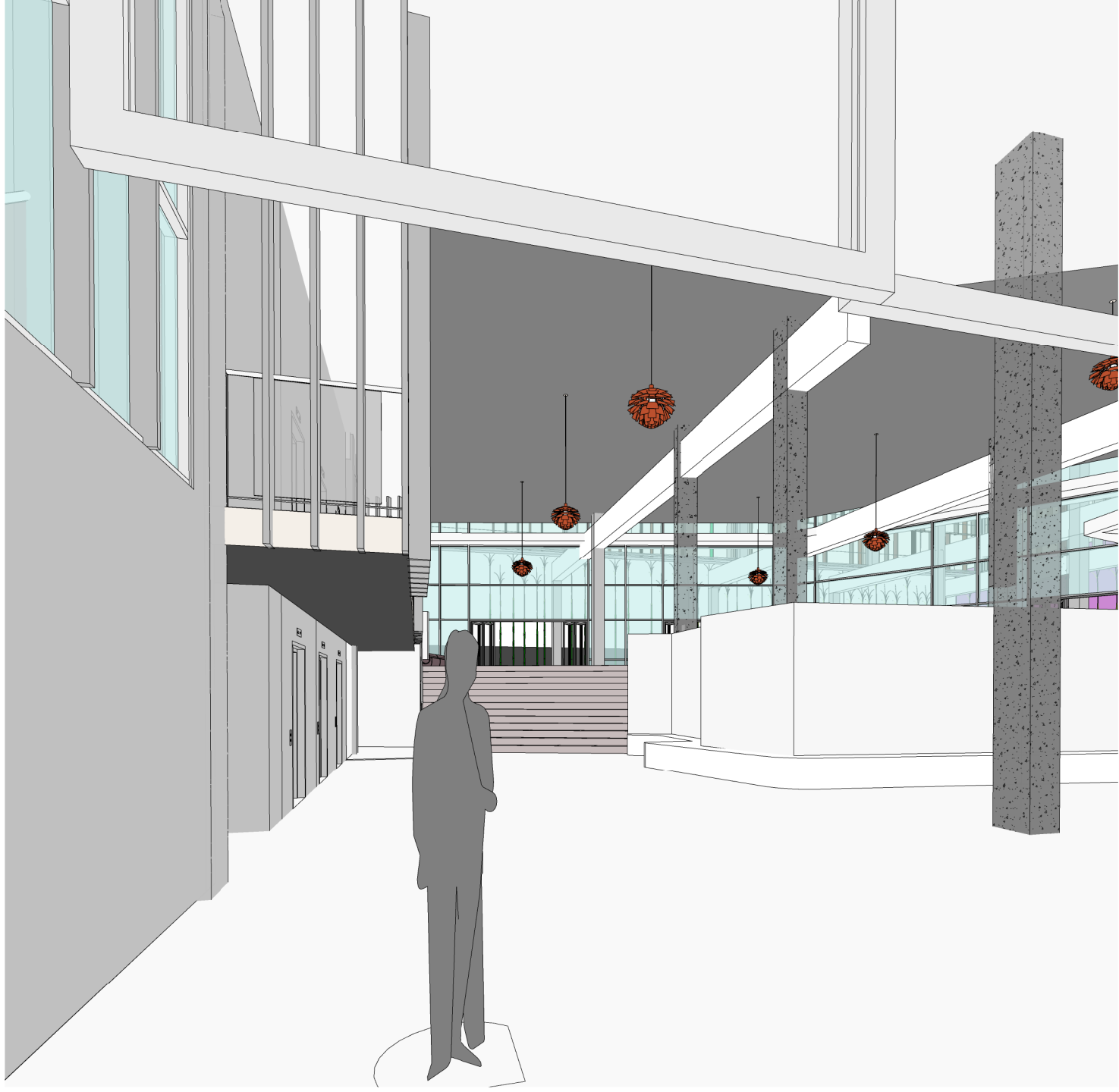
NOTE:

ALSO REFER TO
LANDSCAPE
DOCUMENTATION FOR
ADDITIONAL
MATERIAL SELECTIONS

AMENDMENTS			
No	Revision Description	Date	BY
A	DA ISSUE	22.11.30	DC/SH
M	DRP REVISION	01.07.14	SH/DC
O	DA Amended Issue	13.08.14	SH
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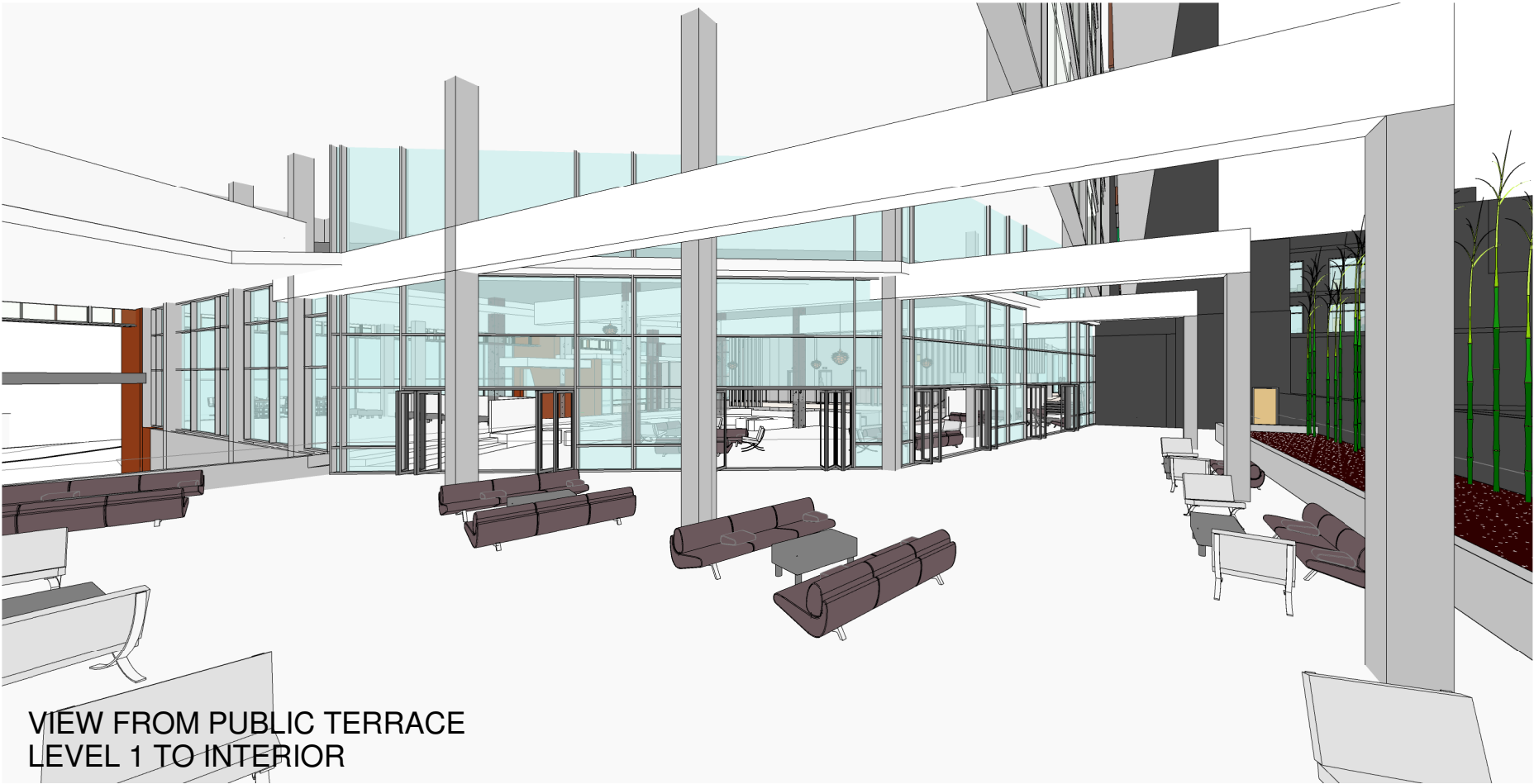


VIEW FROM HOTEL
LOBBY TO PUBLIC
SPACE

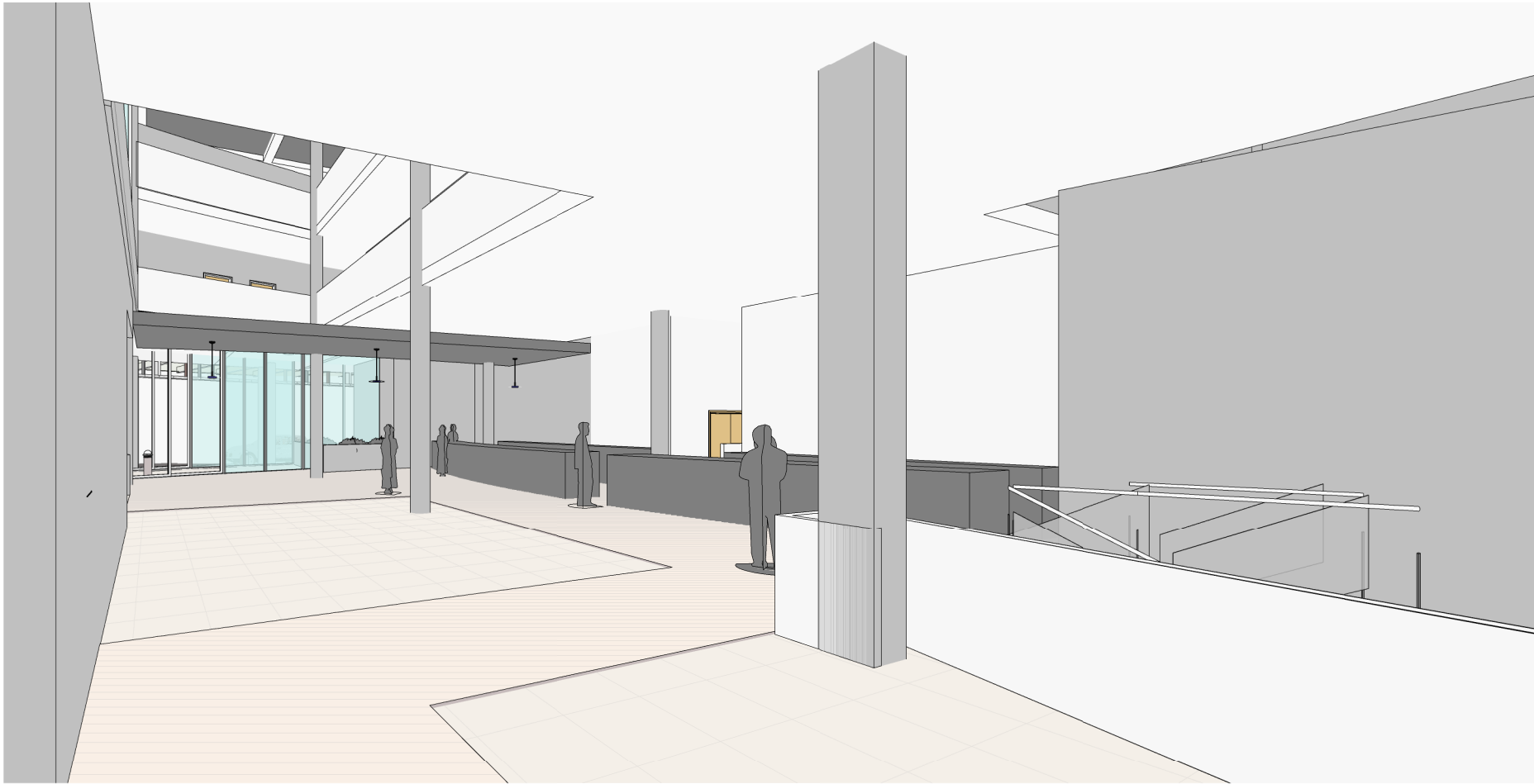


VIEW FROM COMMERCIAL
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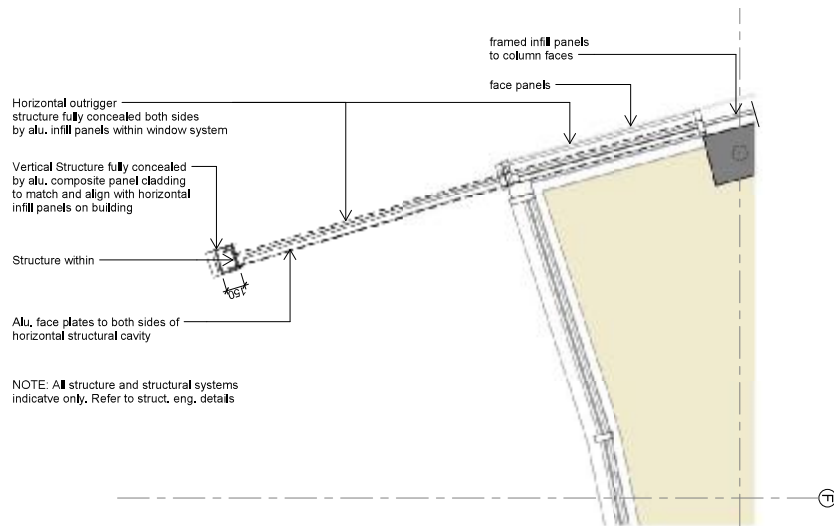
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No	Revision Description	Date	BY
A	DA ISSUE	22.11.30	DC/SH
M	DRP REVISION	01.07.14	SH/DC
O	DA Amended Issue	13.08.14	SH
R	DA Amended Issue	30.10.14	SH/G W/RB
S	DRP Revision	10.04.15	BB



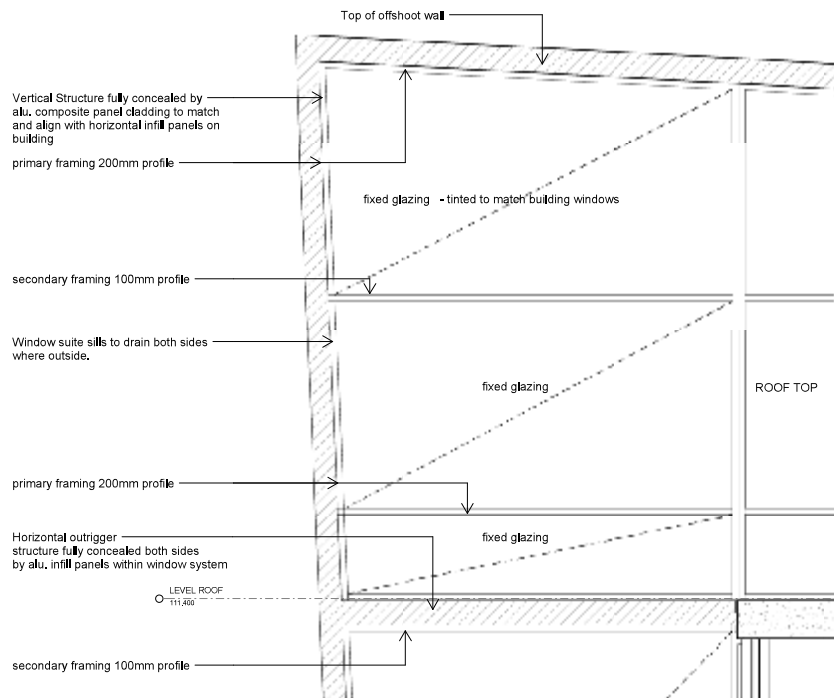
VIEW FROM PUBLIC TERRACE
LEVEL 1 TO INTERIOR



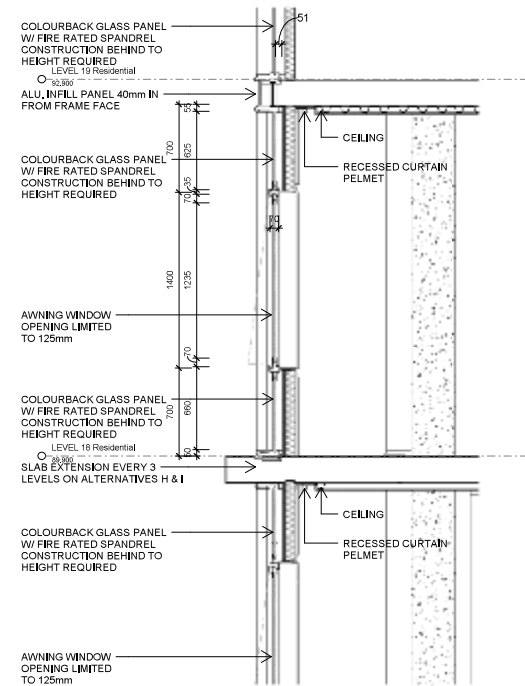
VIEW THROUGH HOTEL LOBBY



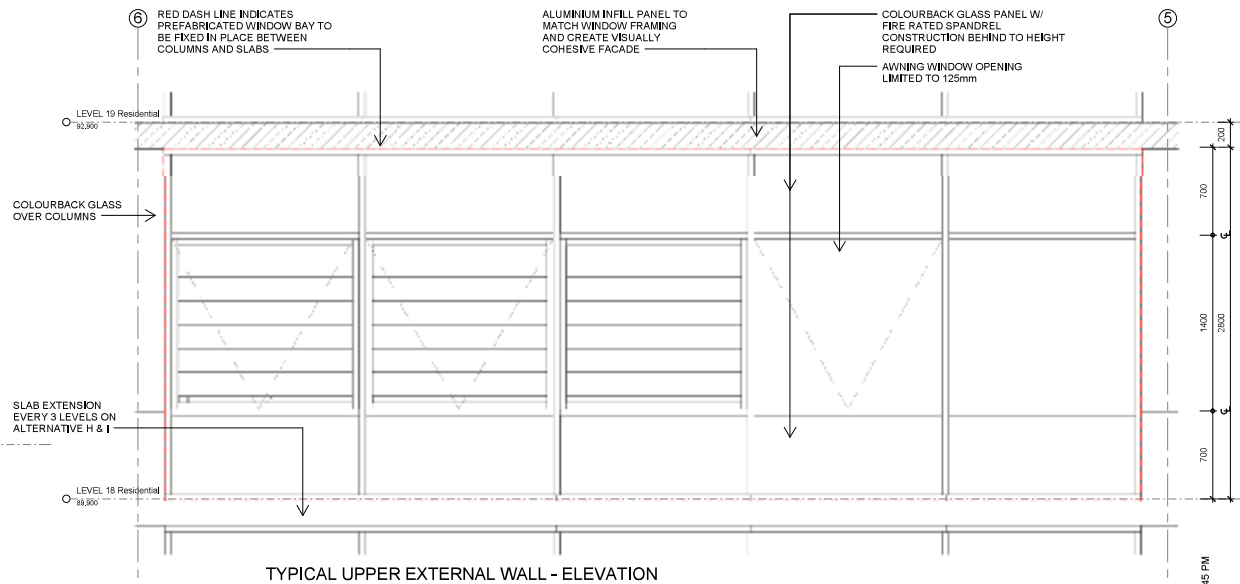
GLAZED OVERSHOOT WALL - PLAN



GLAZED OVERSHOOT WALL - ELEVATION AT TOP



TYPICAL UPPER EXTERNAL WALL - SECTION



TYPICAL UPPER EXTERNAL WALL - ELEVATION

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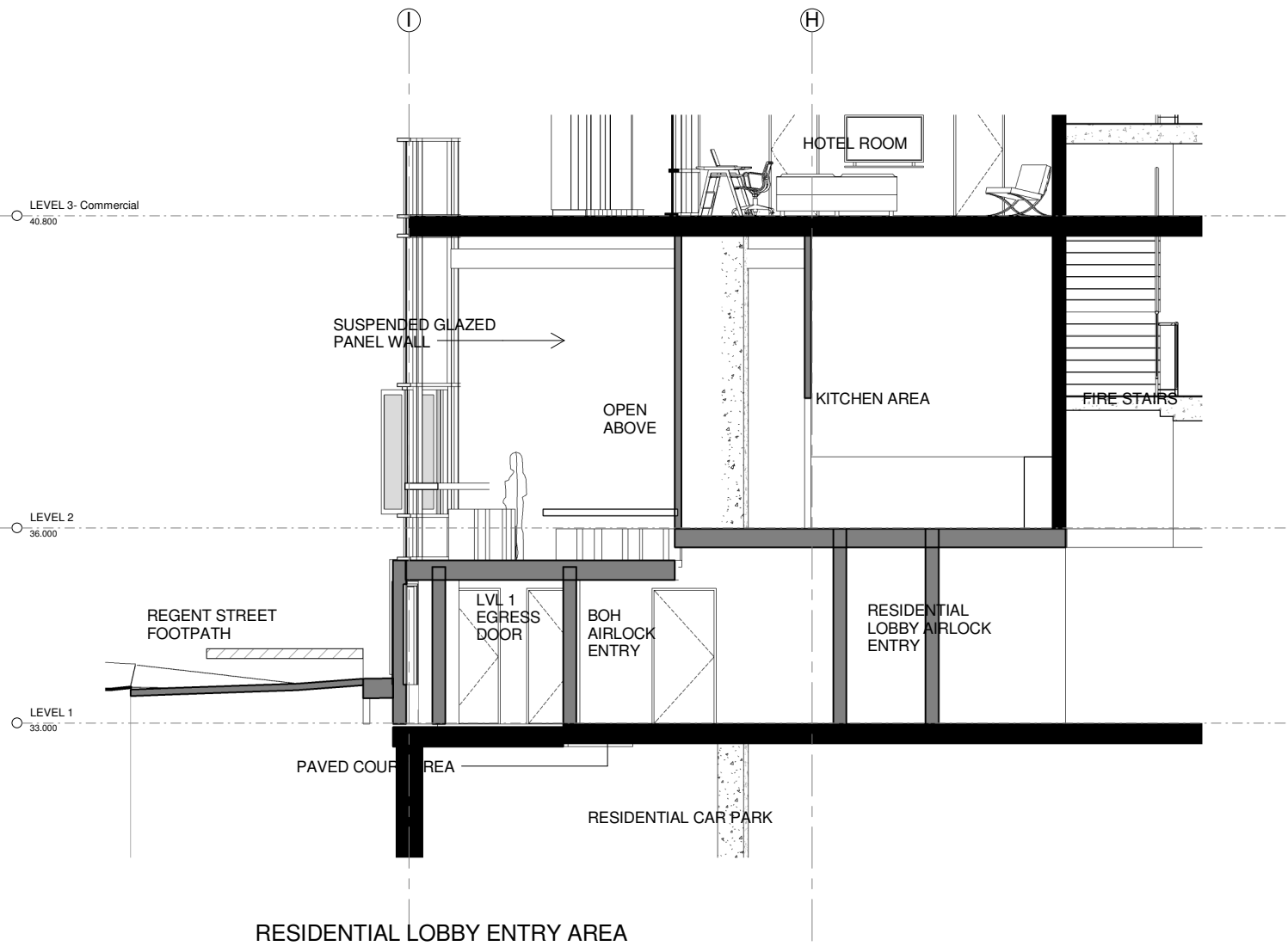
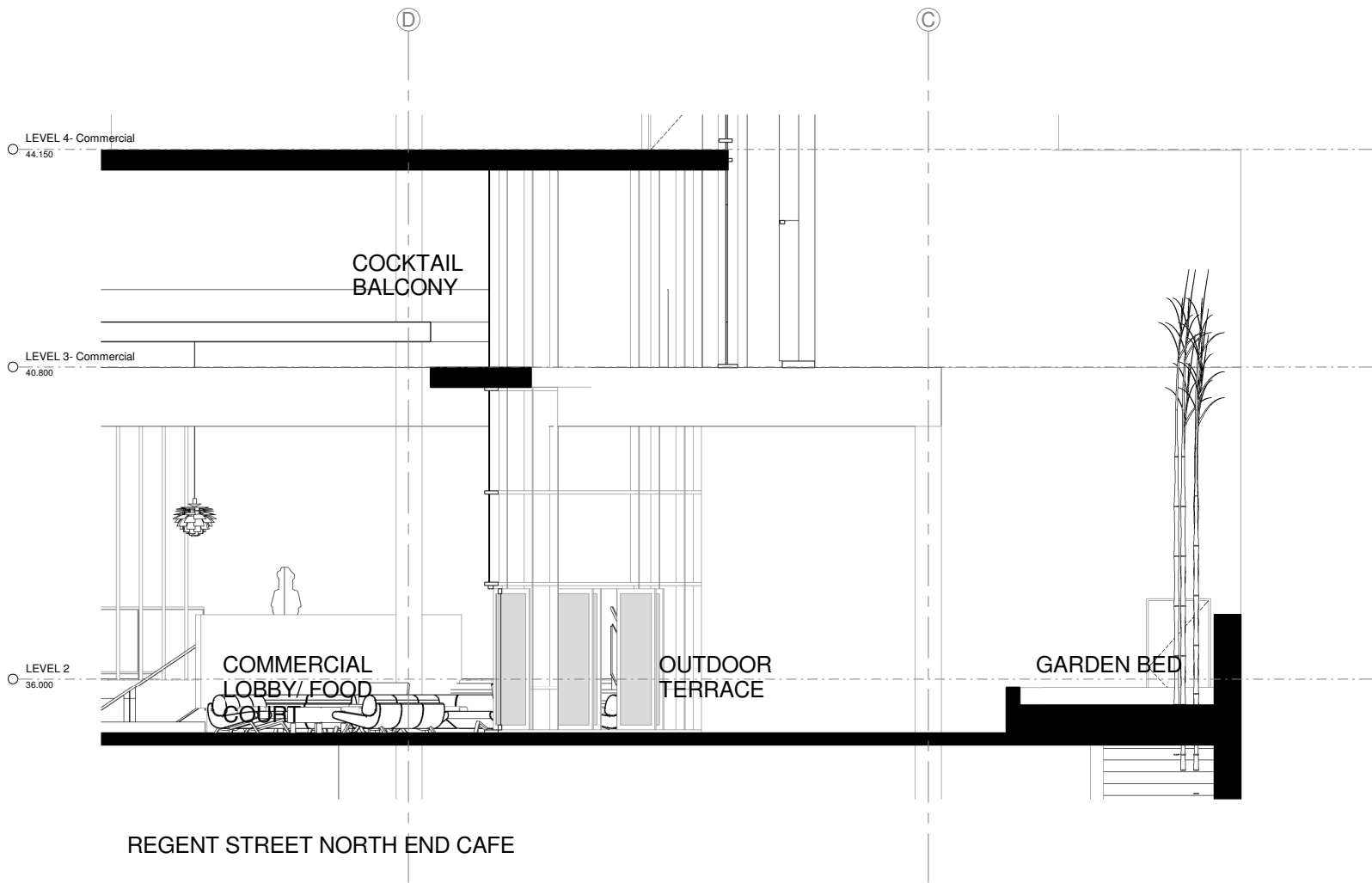
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AMENDMENTS

No	Revision Description	Date	BY
A	DA ISSUE	22.11.20	DC/SH
M	DRP REVISION	01.02.14	SH/DC
O	DA Amended Issue	13.08.14	SH
R	DA Amended Issue	30.10.14	SH/G
S	DRP Revision	10.04.15	BB
T	DRP Revision	04.06.15	SH

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R	DA Amended Issue	30.10.14	SH/G W/RB
S	DRP Revision	10.04.15	BB



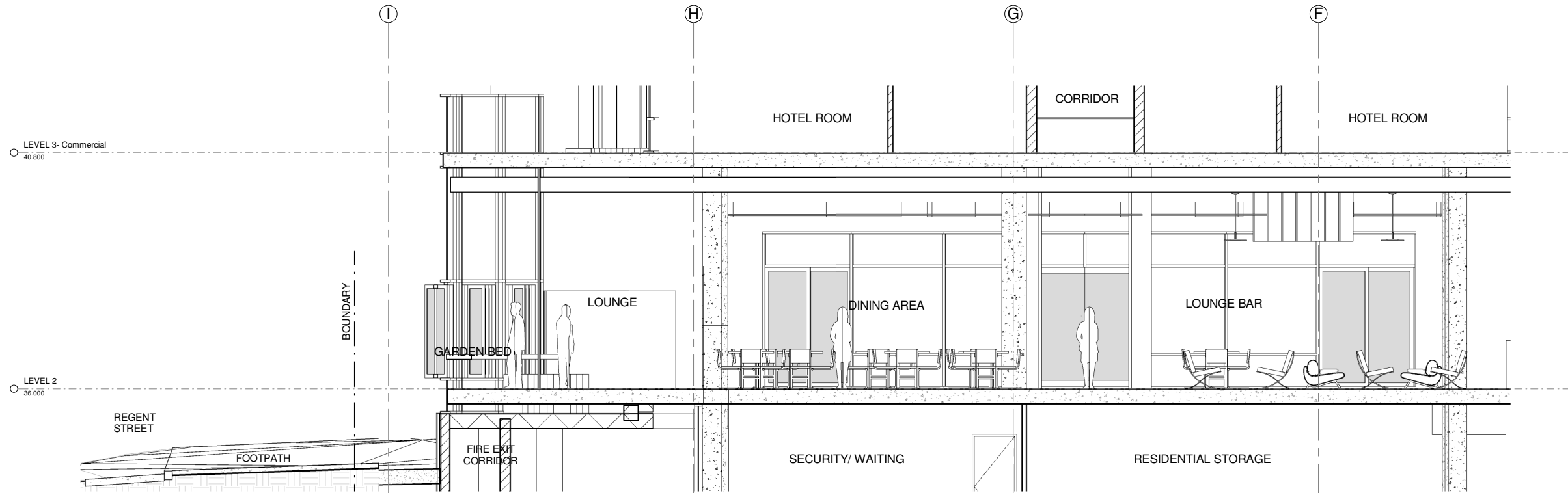
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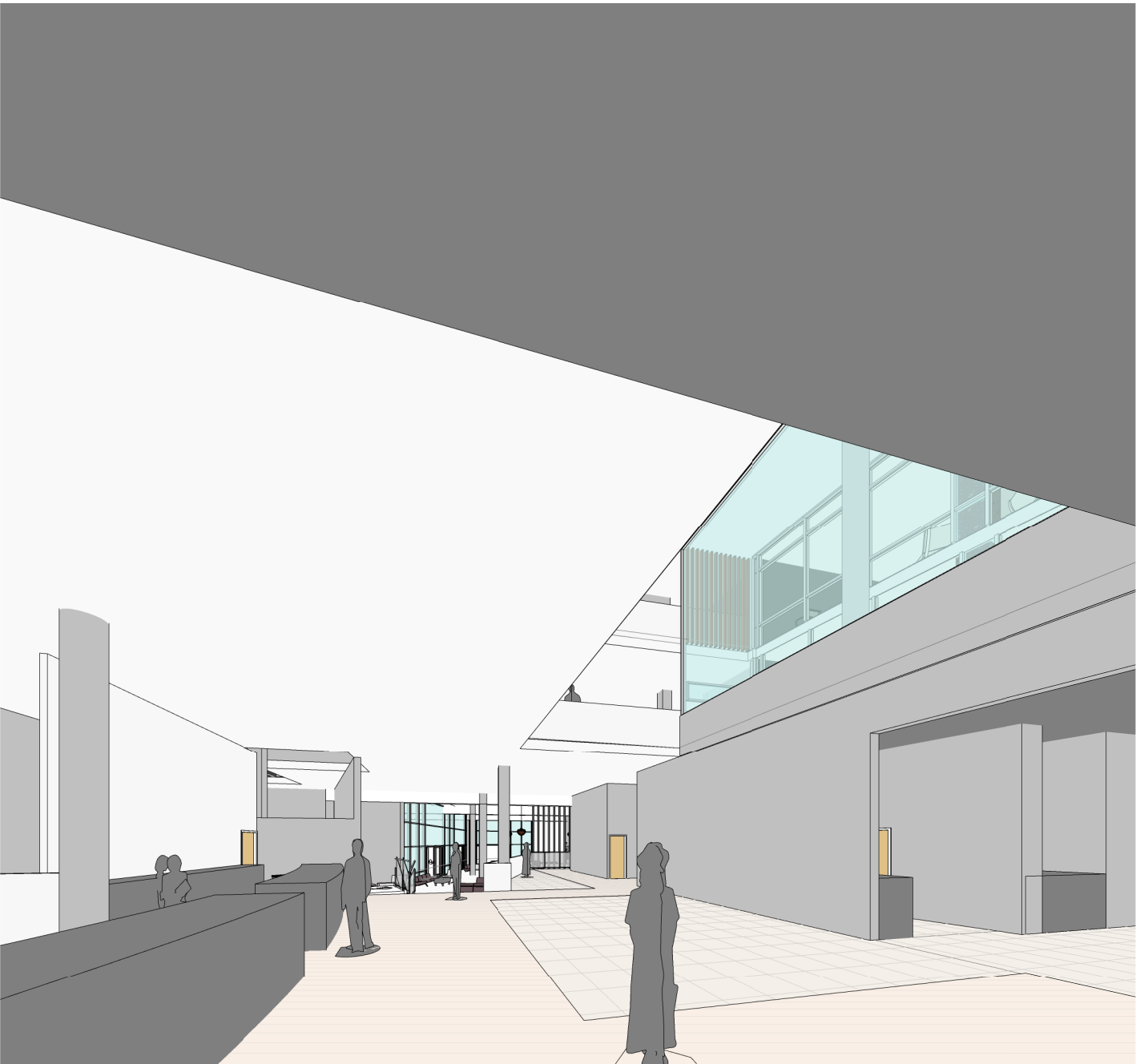
No	Revision Description	Date	BY
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O	DA Amended Issue	13.08.14	SH
R	DA Amended Issue	30.10.14	SH/G W/RB
S	DRP Revision	10.04.15	BB



4 RAWSON REGENT STREET CORNER
1 : 50



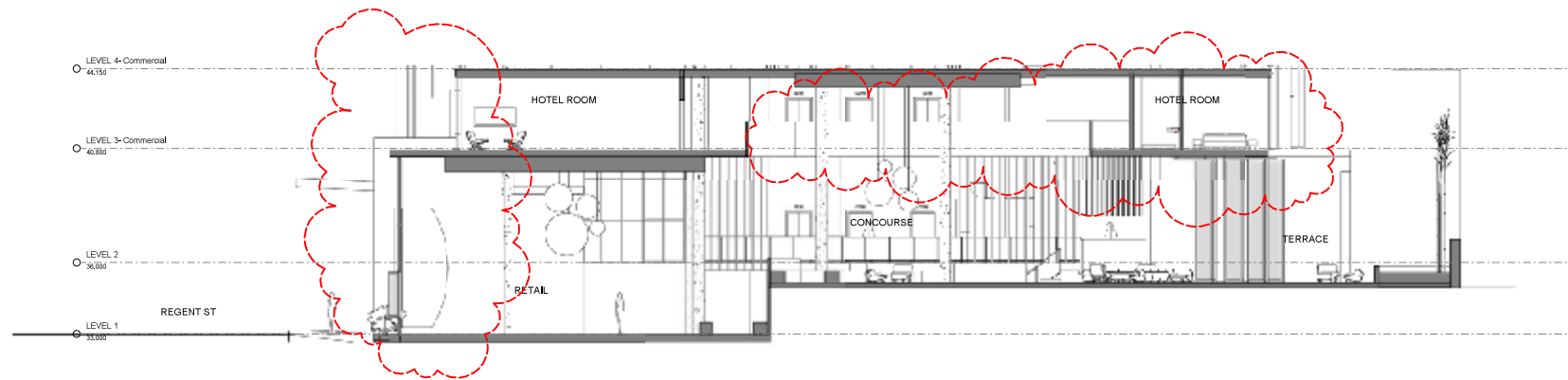
AMENDMENTS			
No	Revision Description	Date	BY
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O	DA Amended Issue	13.08.14	SH
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S	DRP Revision	10.04.15	BB



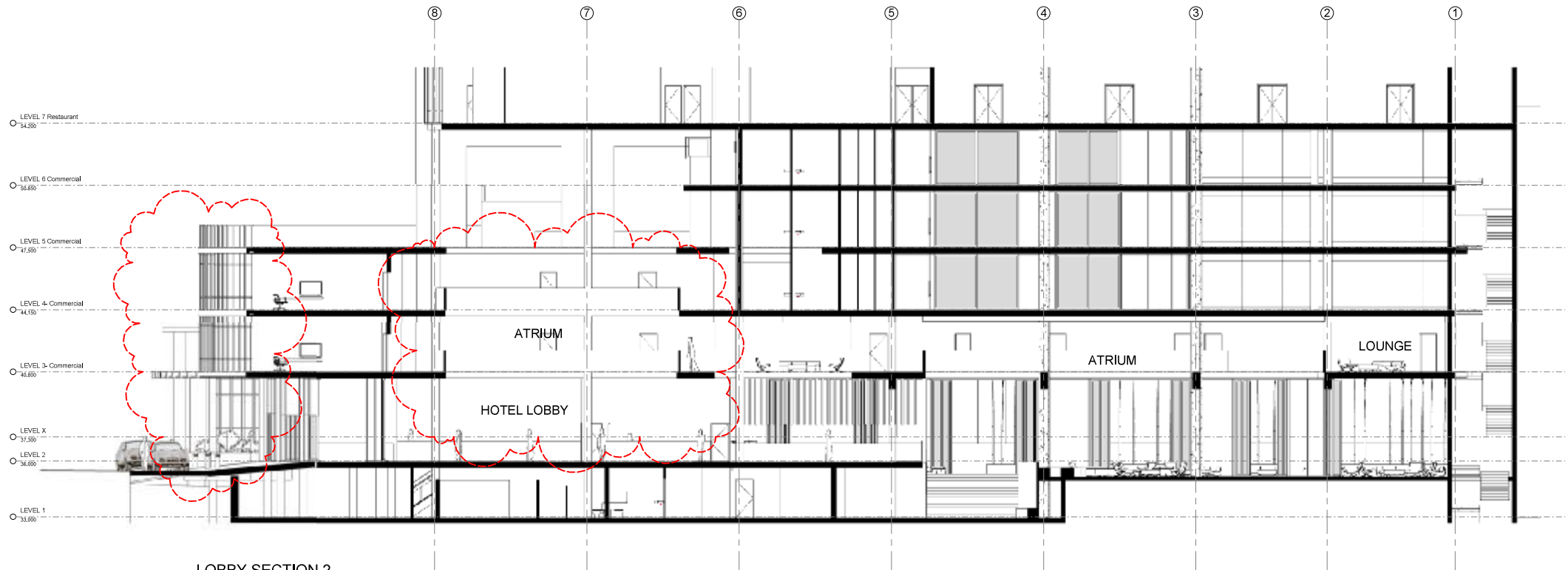
VIEW TO HOTEL LOBBY ATRIUM



VIEW TO COMMERCIAL LOBBY



1 LOBBY SECTION
1 : 100



2 LOBBY SECTION 2
1 : 100



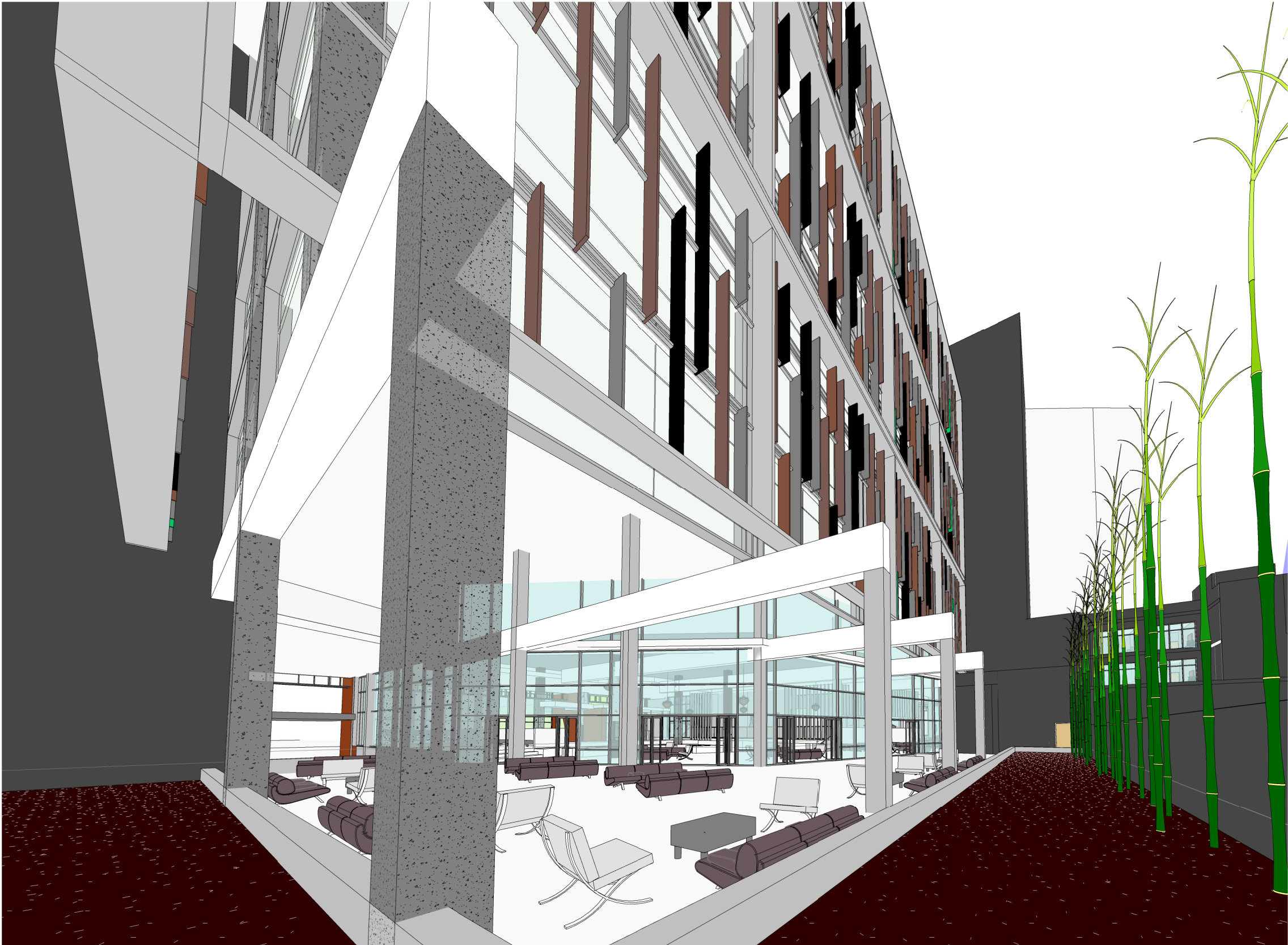
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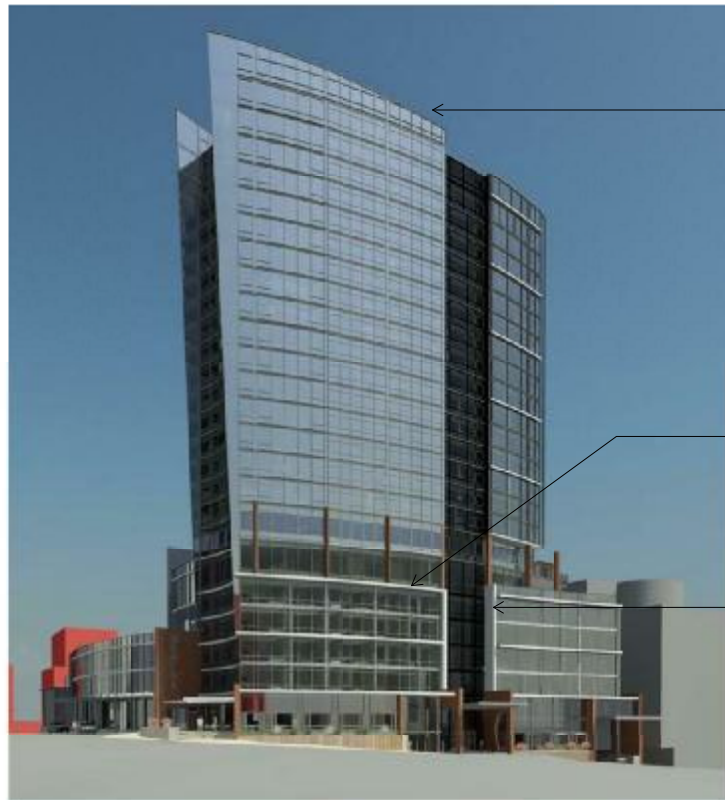
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AMENDMENTS			
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S	DRP Revision	10.04.15	BB

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SOUTHERN GLAZING
SAILS PAST THE ROOF
SLAB WHILE THE
NORTHERN HALF
TERMINATES

NORTH AND SOUTH
SIDE SIMPLIFIED AND
SLAB EXPRESSIONS
CARRIED TO PODIUM
BELOW TO TIE IN THE
ARCHITECTURAL
LANGUAGE

BUILDING 'SPINE' CONTINUOUS
TO GROUND SPLITS THE
FACADE INTO 3 ELEMENTS
WHILE VISUALLY SIGNALING THE
MAIN POINT OF ENTRY TO
REGENCY TOWER



FEATURED SLAB EDGE
EVERY 3 LEVELS IN
CARRIED INTO THE
PODIUM TO CONNECT
THE TOWER AND
PODIUM WITHOUT
OVERWHELMING THE
SIMPLIFIED FACADE

GLAZING FROM DINING
AREA ONTO REGENT
STREET FLYY
OPERABLE TO
ACTIVATE STREET
FRONT AND ALLOW
WEATHER CONTROL

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AMENDMENTS			
No	Revision Description	Date	BY
1	DRP Revision	04.06.15	SH



MIXED USE PROJECT- REGENCY TOWER
REGENT ST, WOLLONGONG

Alternative I- No Screening

REGENT STREET DEVELOPMENTS P/L 013-014

DA68-T

PRD ARCHITECTS
Level 2, 77 Market Street, Wollongong NSW 2500
Phone 02 4226-0881 Fax 02 4226-1145
Email info@prdentech.com

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SOUTHERN GLAZING
SAILS PAST THE ROOF
SLAB WHILE THE
NORTHERN HALF
TERMINATES

NORTH SIDE SIMPLIFIED
AND SLAB EXPRESSIONS
CARRIED TO PODIUM
BELOW TO TIE IN THE
ARCHITECTURAL
LANGUAGE

BUILDING 'SPINE' CONTINUOUS
TO GROUND SPLITS THE
FACADE INTO 3 ELEMENTS
WHILE VISUALLY SIGNALING THE
MAIN POINT OF ENTRY TO
REGENCY TOWER



FEATURED SLAB EDGE
EVERY 3 LEVELS IN
CARRIED INTO THE
PODIUM TO CONNECT
THE TOWER AND
PODIUM WITHOUT
OVERWHELMING THE
SIMPLIFIED FACADE

GLAZING FROM BOTH
NORTH AND SOUTH
SIDE OF THE TOWER
BROUGHT DOWN TO
CONNECT GENTLY
WITH THE PODIUM
WITH NO GAP TO EAST
WEST

GLAZING FROM DINING
AREA ONTO REGENT
STREET FLYY
OPERABLE TO
ACTIVATE STREET
FRONT AND ALLOW
WEATHER CONTROL

SCREENING SIMPLIFIED AND
FORMATTED BETWEEN
SLAB LINE



MIXED USE PROJECT- REGENCY TOWER
REGENCY ST, WOLLONGONG

Alternative H- Screening to Rawson Street

REGENCY STREET DEVELOPMENTS P/L 013-014

DA69-T

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Phone 02 4226-0881 Fax 02 4226-1145
Email info@prdentech.com

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EXPRESSED SLAB EDGES LEFT AS
FINISHED CAST IN SITU CONCRETE AS
OPPOSED TO PAINTED WHITE AS
REQUESTED BY COUNCIL



MIXED USE PROJECT- REGENCY TOWER
REGENT ST, WOLLONGONG

Alternative H- Concrete Slab Expressions

REGENT STREET DEVELOPMENTS P/L 013-014

DA69.2-T